

HOWELL TOWNSHIP PLANNING COMMISSION

SPECIAL MEETING

3525 Byron Road
Howell, MI 48855
February 11, 2025
6:30 pm

1. Call to Order
2. Roll Call: () Wayne Williams - Chair () Chuck Frantjeskos
 () Robert Spaulding – Vice Chair () Matt Stanley
 () Mike Newstead – Secretary () Sharon Lollo
 () Tim Boal – Board Rep.
3. Pledge of Allegiance
4. Approval of the Agenda:
 Planning Commission Special Meeting: February 11, 2025
5. Call to the Public:
6. Scheduled Public Hearings:
 A. Heritage Square, PC2024-15, Parcel # 4706-32-400-013. Request to
 modify PUD to increase lot coverage percentage
7. Other Matters to be Reviewed by the Planning Commission:
8. Call to the Public:
9. Adjournment

Public Hearings. All public hearings held by the Planning Commission must be held as part of a regular or special meeting of the Planning Commission. The following rules of procedure shall apply to public hearings held by the Planning Commission:

1. Chairperson opens the public hearing and announces the subject.
2. Chairperson summarizes the procedures/rules to be followed during the hearing.
3. Township Planner/Engineer/other consultants present their report and recommendation.
4. Applicant presents the main points of the application.
5. Persons having comments on the application are recognized.
6. Chairperson closes the public hearing and returns to the regular/special meeting.
7. Planning Commission begins deliberation and arrives at a decision.

To ensure everyone has the opportunity to speak, the Chairperson may elect to limit the time permitted for each person to speak, except that the applicant may be permitted additional time as the Chairperson allows. The Chairperson may also elect to allow persons to speak only once, until all persons have had the opportunity to speak, at which time the Chairperson, in his/her discretion, may permit additional comments.

All comments by the public, staff and the Planning Commission shall be directed to the Chairperson. All comments shall be related to the land use request; unrelated comments shall be ruled out of order.

A written notice containing the decision of the Planning Commission will be sent to petitioners and originators of the request.


HOWELL TOWNSHIP
Request for Amendment to Approved Site Plan

3525 Byron Road Howell, MI 48855
Phone: 517-546-2817 ext. 108
Email: inspector@howelltownshipmi.org

Fee: \$350.00, submitted with application

Parcel ID #: 4706- <u>32</u> - <u>400</u> - <u>013</u>	Date <u>12/18/24</u>
Location of Property <u>North of Mason Rd, West of Burkhart Rd. Northwest of Chestnut Crossing</u>	
Applicant Name <u>David Straub - M/I Homes</u>	Applicant Address <u>40950 Woodward Ave, Ste 203</u>
Phone <u>248-221-5011</u>	Fax _____ Email <u>dstraub@mihomes.com</u>
Type/Nature of Business <u>Builder/Developer</u>	
Property Owner Name/Title <u>Bruce Michael - Mason and Burkhart LLC</u>	
Phone <u>248-703-4653</u>	Fax _____ Email <u>brucemich@gmail.com</u>

Briefly state a description of the amendment requested and minimums required. Attach drawings or other pertinent information for review.
Increase the maximum lot coverage ratio from 30% to 40%

Applicant Signature 

Date 12/18/24

Owner Signature SEE OWNER AUTHORIZATION LETTER

Date _____

May 15, 2024

To: Howell Township
Livingston County
State of Michigan


To Whom It May Concern:

Mason and Burkhart LLC, a Michigan Limited Liability is the owner of the property located on the northwest quadrant of Mason and Burkhart Roads in Howell Township, Livingston County, Michigan, being tax parcel 06-32-400-013 (the "Property"). We have entered into a Purchase Contract with M/I Homes of Michigan, LLC, as Buyer, for the sale of the Property.

This letter confirms that M/I Homes of Michigan, LLC has the right and authority to apply for and obtain from Howell Township, Livingston County, EGLE, and any other governmental agencies having jurisdiction, for such governmental approvals and permits that are required for the development of the Property, Water and Sewer Agreements, a Development Agreement for the Property as a residential project.

Sincerely,

Mason and Burkhart LLC
a Michigan limited liability company

By: 
Bruce Michael
Title: Authorized Agent



December 13, 2024

Jonathan Hohenstein
Township Treasurer
Howell Township
3525 Byron Rd
Howell, MI 48855

RE: Planned Unit Development ("PUD") Amendment Request for Heritage Square
NW Corner of Mason Rd and Burkhart Rd
Howell, MI

Good afternoon, Jonathan,

We respectfully submit our request for an Amendment to the approved Heritage Square PUD to allow for a maximum 40% Lot Coverage for the Single Family Detached Residential section of this PUD. The current Township Zoning Ordinance allows for a maximum 30% Lot Coverage ratio.

The Heritage Square PUD was recommended for approval by the Planning Commission on December 19, 2023. On January 8, 2024, the Township Board granted approval for the revised site plan and rezoning application with conditions.

The definition of Lot Coverage in the Township Zoning Ordinance is as follows: "The percentage of the lot or parcel covered by all buildings and structures located on a lot or parcel, elevated above the surface, on the surface or below the surface of the ground and which impairs the percolation of surface water into the subsurface groundwater areas and causes additional surface runoff". This includes driveways, service walks, decks, and patios.

As the definition indicates, the goal of the Lot Coverage restrictions is to minimize surface runoff and maximize percolation of surface water into the subsurface groundwater areas. Please note that the stormwater management design of this PUD includes two (2) detention basins that have been adequately sized to accommodate the anticipated stormwater runoff. The largest home plan that will be built in this PUD was used in the detention basin volume calculations to ensure that the maximum allowable storage volume can be accommodated in these basins.

During our review of the individual units, it was discovered that our desired home plan lineup exceeds the minimum Lot Coverage ratio on many of the lots in this community. Our calculations included future decks or patios up to 200 square feet so that future homeowners don't have lot coverage issues when they choose to make these improvements.

M/I Homes will offer its Essential Series plan lineup at Heritage Square with a focus on more attainably priced new housing that is currently lacking in the area. The home plans will be offered range in size from 1,957 to 2,711 square feet of living space and will feature 3-5 bedrooms, 2-1/2 bathrooms, and 2-car garages. The plans are 38' wide and will easily meet the current minimum setback requirements.

The Approved minimum setbacks for the land uses within the PUD are as follows:

Single-Family	Approved	Proposed
Lot Area	5923.61 SF min	5940 SF min
Lot Width	54 Feet	54 Feet
Front Setback	24 Feet	24 Feet
Side Setback	7 Feet	7 Feet
Rear Setback	25 Feet	25 Feet
Perimeter Setback	40 Feet (Adjacent to SFR) 30 FEET (Adjacent to MFR)	40 Feet (Adjacent to SFR) 30 FEET (Adjacent to MFR)
Lot Coverage	Review for individual units	40% Max
Building Height	Review for individual units	Review for individual units

Thank you in advance for your consideration.

Respectfully,

David Straub

M/I Homes of Michigan LLC
 40950 Woodward Avenue, Suite 203
 Bloomfield Hills, MI 48304

P: (248)- 303-0455

E: dstraub@mihomes.com

CONSTRUCTION PLANS FOR HERITAGE SQUARE SINGLE FAMILY

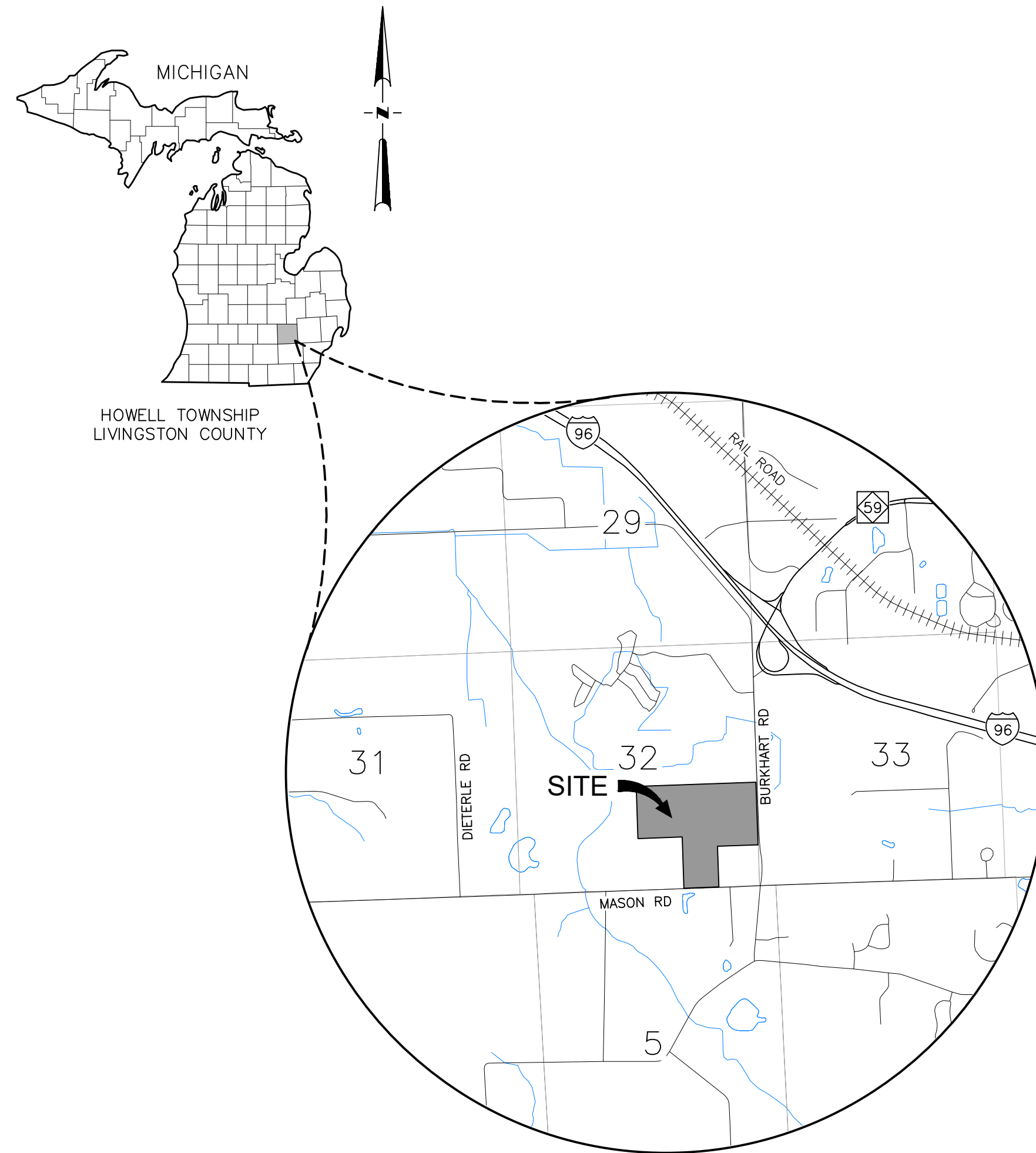
LEGAL DESCRIPTION (AS PROVIDED)

(PER TITLE AGENCY: ATA NATIONAL TITLE GROUP
TITLE COMMITMENT NO: 47-23889492-SCM,
EFFECTIVE DATE: SEPTEMBER 05,2023)

PARCEL TAX NUMBER: 47-06-32-400-013

SITUATED IN THE TOWNSHIP OF HOWELL, COUNTY OF LIVINGSTON, STATE OF MICHIGAN

PART OF THE SOUTHEAST 1/4 OF SECTION 32 AND PART OF THE SOUTHWEST 1/4 OF SECTION 33, TOWN 3 NORTH, RANGE 4 EAST, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE SOUTH LINE OF SAID SECTION 32, SAID POINT BEING SOUTH 89 DEGREES 55 MINUTES 08 SECONDS WEST 903.41 FEET FROM THE SOUTHEAST CORNER OF SECTION 32; THENCE SOUTH 89 DEGREES 55 MINUTES 08 SECONDS WEST 769.27 FEET ALONG THE SOUTH SECTION LINE; THENCE NORTH 00 DEGREES 05 MINUTES 59 SECONDS EAST 1133.64 FEET; THENCE SOUTH 89 DEGREES 55 MINUTES 08 SECONDS WEST 980.63 FEET TO THE NORTH-SOUTH 1/4 LINE; THENCE NORTH 00 DEGREES 04 MINUTES 04 SECONDS EAST 1155.25 FEET ALONG THE NORTH-SOUTH 1/4 LINE; THENCE SOUTH 89 DEGREES 59 MINUTES 30 SECONDS EAST 2649.93 FEET TO THE EAST SECTION LINE; THENCE SOUTH 00 DEGREES WEST 1374.40 FEET ALONG THE EAST SECTION LINE; THENCE SOUTH 03 DEGREES 58 MINUTES 40 SECONDS EAST 10.20 FEET ALONG THE CENTERLINE OF BURKHART ROAD; THENCE SOUTH 89 DEGREES 55 MINUTES 08 SECONDS WEST 904.12 FEET; THENCE SOUTH 00 DEGREES WEST 900.16 FEET TO THE POINT OF BEGINNING.



LOCATION MAP

LAND USE SUMMARY			
LAND USE DATA	CHARACTERISTIC	EXISTING CONDITIONS	PROPOSED CONDITIONS
	TOTAL DEVELOPMENT AREA (AC)	95.02 AC	95.02 AC
	IMPERVIOUS AREA (AC)	0.00 AC	29.95 AC
	TOTAL PERVIOUS AREA (AC)	95.02 AC	65.07 AC
PERVIOUS AREA BREAKDOWN BY COVER TYPE			
PERVIOUS AREA	MEADOW/FALLOW/NATURAL AREAS (NON-CULTIVATED)	19.07 AC	16.12 AC
	PREDOMINANT NRCS SOIL TYPE (A, B, C, OR D)	TYPE C	TYPE C
	IMPROVED AREAS (TURF GRASS, LANDSCAPE, ROW CROPS)	45.28 AC	38.68 AC
	PREDOMINANT NRCS SOIL TYPE (A, B, C, OR D)	TYPE B	TYPE B
	WOODED AREAS	30.67 AC	10.27 AC
	PREDOMINANT NRCS SOIL TYPE (A, B, C, OR D)	TYPE C	TYPE C
CPVC VOLUME CALCULATED (CF)			174,380 CF
CPVC VOLUME PROVIDED (CF) *			221,666 CF
CPRC (EXTENDED DETENTION) VOLUME PROVIDED (CF)			254,863 CF
* NOTED CPVC VOLUME PROVIDED = PERMANENT POOL VOLUME. WAIVER FOR INFILTRATION IS REQUESTED DUE TO HIGH GROUND WATER.			
THE PROFESSIONAL ENGINEER WHO SIGNS AND SEALS THIS SITE PLAN CERTIFIES THAT THE VALUES IN THIS TABLE REFLECT THE WRC STORMWATER CALCULATIONS REQUIRED FOR THIS DEVELOPMENT AND THAT GEOTECHNICAL INVESTIGATIONS WERE PERFORMED THAT PROVIDE CONCLUSIVE DOCUMENTATION THAT DEMONSTRATES WHETHER INFILTRATION (I.E. CPVC VOLUME CONTROL) IS PRACTICABLE.			

DESIGN ENGINEER/SURVEYOR

MONUMENT ENGINEERING GROUP ASSOCIATES, INC
 INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS
 298 VETERANS DRIVE,
 FOWLERVILLE, MI 48836
 PHONE: 517-223-3512



SINGLE FAMILY DEVELOPER

M/I HOMES OF MICHIGAN, LLC
 40950 WOODWARD AVE
 SUITE 203
 BLOOMFIELD HILLS, MI 48304
 POC: DAVID STRAUB
 PHONE: 248-221-5011

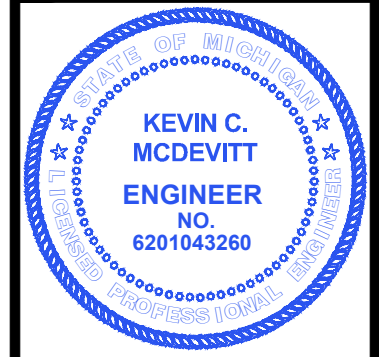
ARCHITECT



FELINO PASCUAL ASSOCIATES
 24333 Orchard Lake Road
 Suite G
 Farmington Hills, MI 48336
 POC: Felino A. Pascual (Joel), RLA, CLARB Pas
 PHONE: 248-557-5588

SITE PERMIT APPROVAL INDEX			
NUMBER	PERMIT TYPE	GOVERNING AGENCY	APPROVAL DATE
PC2023-13	PUD APPROVAL (REZONING)	HOWELL TOWNSHIP	01/08/2024
	REZONING - COUNTY PLANNING	LIVINGSTON COUNTY PLANNING	01/19/2022
	PHASE 1 FINAL SITE PLAN	HOWELL TOWNSHIP	XX/XX/XXXX
	FIRE MARSHALL	HOWELL AREA FD	XX/XX/XXXX
	CONSTRUCTION DOCUMENTS	HOWELL TOWNSHIP	XX/XX/XXXX
	WATER AUTHORITY	MHOG	XX/XX/XXXX
	ROAD COMMISSION - MASON ROAD APPROACH PERMIT	COUNTY	XX/XX/XXXX
	ROAD COMMISSION - BURKHART ROAD APPROACH PERMIT	COUNTY	XX/XX/XXXX
	DRAIN COMMISSION - DRAINAGE APPROVAL	COUNTY	XX/XX/XXXX
	SOIL EROSION SEDIMENTATION CONTROL PERMIT	COUNTY	XX/XX/XXXX
	JOINT PERMIT APPLICATION	EGL	XX/XX/XXXX
	ACT 399 PERMIT (WATER)	EGL	XX/XX/XXXX
	PART 41 PERMIT (SANITARY)	EGL	XX/XX/XXXX

NOTE: BUILDING PERMITS (BUILDING, ELECTRICAL, PLUMBING, MECHANICAL, ETC.) ARE TRACKED SEPARATELY ON THE ARCHITECTURAL PLANS.



Kevin C. McDevitt

Call MISS DIG
 3 full working days before you dig.
 Michigan's Utility Notification One-Call
 1-800-482-7171
 www.missdig.org

CLIENT :
M/I HOMES OF MICHIGAN, L.L.C.
 40950 WOODWARD AVE
 SUITE 203
 BLOOMFIELD HILLS, MI 48304
 POC: DAVID STRAUB
 (248)-221-5011

COVER
 HERITAGE SQUARE (SINGLE FAMILY)
 95 AC. NW CORNER BURKHART & MASON ROADS
 PART OF THE SE 1/4 OF SEC. 32, T3N, R4E,
 HOWELL TWP, LIVINGSTON COUNTY, MICHIGAN

DATE	DESCRIPTION
05/09/2024	PLAN SUBMITTALS/REVISIONS
09/18/2024	FINAL SITE PLAN SUBMITTAL
10/14/2024	EGLE JOINT PERMIT SUBMITTAL
11/04/2024	CONSTRUCTION DOCUMENT REVIEW SET
12/17/2024	REVISED PUD MAXIMUM COVERAGE

ORIGINAL ISSUE DATE:
 5/09/2024

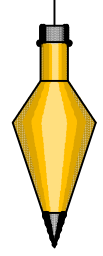
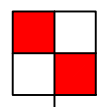
PROJECT NO: 21-075C

SCALE: N/A

FIELD:
 DRAWN BY: DC,MN,CK,DJ
 DESIGN BY: KM
 CHECK BY: KM

G-10

NOT FOR CONSTRUCTION



SHEET INDEX

SHEET INDEX	PLAN SUBMITTALS				
	SITE PLAN SUBMITTAL	PHASE 1 FINAL SITE PLAN SUBMITTAL	EGLC JOINT PERMIT SUBMITTAL	CONSTRUCTION DOCUMENT REVIEW SET	REVISED PUD MAXIMUM COVERAGE
	5/09/2024	9/18/2024	10/09/2024	11/04/2024	12/18/2024
INCLUDED SHEETS					
GENERAL					
SHEET G-1.0	COVER	●	●	●	●
SHEET G-1.1	SHEET INDEX	●	●	●	●
SURVEY					
SHEET V-1.0	TOPO SURVEY AND DEMO PLAN	●	●	●	●
SITE PLAN					
SHEET C-0.0	PHASING PLAN - OVERVIEW	●	●	●	●
SHEET C-0.1	FIRE PROTECTION PLAN	●	●	●	●
SHEET C-1.0	SITE PLAN - OVERVIEW	●	●	●	●
SHEET C-1.1	DIMENSION AND PAVING PLAN - PHASE 1	●	●	●	●
SHEET C-1.2	DIMENSION AND PAVING PLAN - PHASE 2 (WEST)	●	●	●	●
SHEET C-1.3	DIMENSION AND PAVING PLAN - PHASE 2 (EAST)	●	●	●	●
SHEET C-1.4	DIMENSION AND PAVING PLAN - PHASE 3	●	●	●	●
SHEET C-1.5	DIMENSION AND PAVING PLAN - PHASE 4	●	●	●	●
SHEET C-1.6	DIMENSION AND PAVING PLAN - PHASE 5	●	●	●	●
SHEET C-1.7	DIMENSION AND PAVING PLAN - PHASE 6	●	●	●	●
SHEET C-1.8	DIMENSION AND PAVING PLAN - HIGHLANDER PARK DRIVE (PH 2)	●	●	●	●
WETLAND PLANS					
SHEET C-2.0	WETLAND IMPACT PLAN - OVERALL	●	●	●	●
SHEET C-2.1	WETLAND IMPACTS - WETLAND A	●	●	●	●
SHEET C-2.2	WETLAND IMPACTS - WETLAND D	●	●	●	●
SHEET C-2.3	WETLAND IMPACTS - WETLAND Y	●	●	●	●
UTILITY					
SHEET C-3.0	UTILITY PLAN - OVERVIEW	●	●	●	●
SHEET C-3.1	SANITARY SEWER AND WATERMAIN PLAN - PHASE 1	●	●	●	●
SHEET C-3.2	SANITARY SEWER AND WATERMAIN PLAN - PHASE 2	●	●	●	●
SHEET C-3.3	SANITARY SEWER AND WATERMAIN PLAN - PHASE 2	●	●	●	●
SHEET C-3.4	SANITARY SEWER AND WATERMAIN PLAN - PHASE 3	●	●	●	●
SHEET C-3.5	SANITARY SEWER AND WATERMAIN PLAN - PHASE 4	●	●	●	●
SHEET C-3.6	SANITARY SEWER AND WATERMAIN PLAN - PHASE 5	●	●	●	●
SHEET C-3.7	SANITARY SEWER AND WATERMAIN PLAN - PHASE 6	●	●	●	●
SHEET C-3.8	SANITARY SEWER AND WATERMAIN PLAN - HIGHLANDER PARK DR (PH2)	●	●	●	●
SHEET C-4.1	SANITARY SEWER PROFILES - SHAGBARK DR (NORTH) & AMERICAN ELM DR	●	●	●	●
SHEET C-4.2	SANITARY SEWER PROFILES - FORESTRY RD & SEDGEVIEW CIRCLE (WEST)	●	●	●	●
SHEET C-4.3	SANITARY SEWER PROFILES - SEDGEVIEW CIRCLE (NORTH) & SEDGEVIEW COURT	●	●	●	●
SHEET C-4.4	SANITARY SEWER PROFILES - SHAGBARK DR (WEST) & FORESTRY ROAD	●	●	●	●
SHEET C-4.5	SANITARY SEWER PROFILES - SEDGEVIEW CIRCLE (EAST)	●	●	●	●
SHEET C-4.6	SANITARY SEWER PROFILES - SEDGEVIEW CIRCLE (SOUTH & WEST)	●	●	●	●
SHEET C-4.7	SANITARY SEWER PROFILES - HERITAGE SQ DR & FORESTRY RD (EAST)	●	●	●	●
SHEET C-4.8	SANITARY SEWER PROFILES - IRON OAK LANE & MULBERRY LANE	●	●	●	●
SHEET C-5.1	WATER MAIN PROFILES - SHAGBARK DRIVE (WEST) & FORESTRY ROAD	●	●	●	●
SHEET C-5.2	WATER MAIN PROFILES - SHAGBARK DR (NORTH) & AMERICAN ELM DR (NORTH)	●	●	●	●
SHEET C-5.3	WATER MAIN PROFILES - AMERICAN ELM DRIVE (SOUTH)	●	●	●	●
SHEET C-5.4	WATER MAIN PROFILES - SEDGEVIEW CIRCLE (EAST AND SOUTH)	●	●	●	●
SHEET C-5.5	WATER MAIN PROFILES - SEDGEVIEW CIRCLE (SOUTH, WEST & NORTH)	●	●	●	●
SHEET C-5.6	WATER MAIN PROFILES - SEDGEVIEW CIRCLE (NORTH & EAST)	●	●	●	●
SHEET C-5.7	WATER MAIN PROFILES - SEDGEVIEW COURT	●	●	●	●
SHEET C-5.8	WATER MAIN PROFILES - FORESTRY ROAD	●	●	●	●
SHEET C-5.9	WATER MAIN PROFILES - HERITAGE SQUARE DRIVE	●	●	●	●
SHEET C-5.10	WATER MAIN PROFILES - MULBERRY LANE	●	●	●	●
SHEET C-5.11	WATER MAIN PROFILES - IRON OAK LANE	●	●	●	●
SHEET C-5.12	WATER MAIN PROFILES - HIGHLANDER PARK DRIVE	●	●	●	●
SHEET C-5.13	WATER MAIN PROFILES - MASON ROAD	●	●	●	●
SHEET C-6.1	STORM SEWER PLAN (PHASE 1)	●	●	●	●
SHEET C-6.2	STORM SEWER PLAN (PHASE 2) - (WEST)	●	●	●	●
SHEET C-6.3	STORM SEWER PLAN (PHASE 2) - (EAST)	●	●	●	●
SHEET C-6.4	STORM SEWER PLAN (PHASE 3)	●	●	●	●
SHEET C-6.5	STORM SEWER PLAN (PHASE 4)	●	●	●	●
SHEET C-6.6	STORM SEWER PLAN (PHASE 5)	●	●	●	●
SHEET C-6.7	STORM SEWER PLAN (PHASE 6)	●	●	●	●
SHEET C-6.8	STORM SEWER PLAN (OFFSITE) - HIGHLANDER PARK DRIVE	●	●	●	●
SHEET C-6.9	STORM SEWER AND ROAD PLAN & PROFILE - HERITAGE SQUARE DRIVE	●	●	●	●
SHEET C-6.10	STORM SEWER AND ROAD PLAN & PROFILE - SEDGEVIEW CIRCLE (NORTH)	●	●	●	●
SHEET C-6.11	STORM SEWER AND ROAD PLAN & PROFILE - SEDGEVIEW COURT	●	●	●	●
SHEET C-6.12	STORM SEWER AND ROAD PLAN & PROFILE - SEDGEVIEW CIRCLE (EAST)	●	●	●	●
SHEET C-6.13	STORM SEWER AND ROAD PLAN & PROFILE - SEDGEVIEW CIRCLE (WEST)	●	●	●	●
SHEET C-6.14	STORM SEWER AND ROAD PLAN & PROFILE - FORESTRY ROAD (WEST)	●	●	●	●
SHEET C-6.15	STORM SEWER AND ROAD PLAN & PROFILE - FORESTRY ROAD (EAST)	●	●	●	●

SHEET INDEX

SHEET INDEX	PLAN SUBMITTALS				
	SITE PLAN SUBMITTAL	PHASE 1 FINAL SITE PLAN SUBMITTAL	EGLC JOINT PERMIT SUBMITTAL	CONSTRUCTION DOCUMENT REVIEW SET	REVISED PUD MAXIMUM COVERAGE
	5/09/2024	9/18/2024	10/09/2024	11/04/2024	12/18/2024
INCLUDED SHEETS					
UTILITY - CONTINUED					
SHEET C-6.16	STORM SEWER AND ROAD PLAN & PROFILE - SEDGEVIEW CIRCLE (SOUTH)	●	●	●	●
SHEET C-6.17	STORM SEWER AND ROAD PLAN & PROFILE - AMERICAN ELM DRIVE	●	●	●	●
SHEET C-6.18	STORM SEWER AND ROAD PLAN & PROFILE - MULBERRY LANE	●	●	●	●
SHEET C-6.19	STORM SEWER AND ROAD PLAN & PROFILE - SHAGBARK DRIVE (WEST)	●	●	●	●
SHEET C-6.20	STORM SEWER AND ROAD PLAN & PROFILE - SHAGBARK DRIVE (NORTH)	●	●	●	●
SHEET C-6.21	STORM SEWER AND ROAD PLAN & PROFILE - IRON OAK LANE	●	●	●	●
SHEET C-6.22	STORM SEWER AND ROAD PLAN & PROFILE - HIGHLANDER PARK DRIVE (S)	●	●	●	●
SHEET C-6.23	STORM SEWER AND ROAD PLAN & PROFILE - HIGHLANDER PARK DRIVE (N)	●	●	●	●
SHEET C-6.24	STORM SEWER PROFILES	●	●	●	●
SHEET C-6.25	STORM SEWER PROFILES	●	●	●	●
SHEET C-6.26	STORM SEWER PROFILES	●	●	●	●
SHEET C-6.27	STORM SEWER PROFILES	●	●	●	●
SHEET C-6.28	STORM SEWER PROFILES	●	●	●	●
SHEET C-6.29	STORM SEWER PROFILES	●	●	●	●
SHEET C-6.30	STORM SEWER PROFILES	●	●	●	●
SHEET C-6.31	STORM SEWER PROFILES	●	●	●	●
SHEET C-6.32	STORM SEWER PROFILES	●	●	●	●
GRADING					
SHEET C-7.1	GRADING PLAN (PHASE 1)	●	●	●	●
SHEET C-7.2	GRADING PLAN (PHASE 2 - WEST)	●	●	●	●
SHEET C-7.3	GRADING PLAN (PHASE 2 - EAST)	●	●	●	●
SHEET C-7.4	GRADING PLAN (PHASE 3)	●	●	●	●
SHEET C-7.5	GRADING PLAN (PHASE 4)	●	●	●	●
SHEET C-7.6	GRADING PLAN (PHASE 5)	●	●	●	●
SHEET C-7.7	GRADING PLAN (PHASE 6)	●	●	●	●
SHEET C-7.8	GRADING PLAN - HIGHLANDER PARK DR (PHASE 2)	●	●	●	●
SOIL EROSION & SEDIMENTATION CONTROL (SESC)					
SHEET C-8.1	SESC PLAN - PHASE 1 ONLY	●	●	●	●
SHEET C-8.2	LDC SESC NOTES AND DETAILS	●	●	●	●
SHEET C-8.3	LDC SESC DETAILS	●	●	●	●
STORM WATER MANAGEMENT					
SHEET C-9.0	EAST POND DRAINAGE AREA PLAN	●	●	●	●
SHEET C-9.1	EAST POND DRAINAGE AREA CALCS	●	●	●	●
SHEET C-9.2	EAST POND STORM SEWER CALCS	●	●	●	●
SHEET C-9.3	EAST POND DETENTION BASIN CALCS	●	●	●	●
SHEET C-9.4	EAST POND DETENTION BASIN DETAILS	●	●	●	●
SHEET C-9.5	WEST POND DRAINAGE AREA PLAN	●	●	●	●
SHEET C-9.6	WEST POND DRAINAGE AREA PLAN	●	●	●	●
SHEET C-9.7	WEST POND DRAINAGE AREA CALCS	●	●	●	●
SHEET C-9.8	WEST POND STORM SEWER CALCS	●	●	●	●
SHEET C-9.9	WEST POND DETENTION BASIN CALCS	●	●	●	●
SHEET C-9.10	WEST POND DETENTION BASIN DETAILS	●	●	●	●
ROAD PLANS					
SHEET C-10.0	TYPICAL COUNTY ROAD SECTIONS	●	●	●	●
SHEET C-10.1	EXISTING CONDITIONS, REMOVAL & CONSTRUCTION PLAN - BURKHART ROAD	●	●	●	●
SHEET C-10.2	EXISTING CONDITIONS, REMOVAL & CONSTRUCTION PLAN - MASON ROAD	●	●	●	●
SHEET C-10.3	GRADING PLAN - BURKHART ROAD	●	●	●	●
SHEET C-10.4	GRADING PLAN - MASON ROAD	●	●	●	●
SHEET C-10.5	MAINTENANCE OF TRAFFIC PLAN - BURKHART ROAD	●	●	●	●
SHEET C-10.6	MAINTENANCE OF TRAFFIC PLAN - MASON ROAD	●	●	●	●
SHEET C-10.7	PAVEMENT MARKING AND SIGNAGE PLAN - BURKHART ROAD	●	●	●	●
SHEET C-10.8	PAVEMENT MARKING AND SIGNAGE PLAN - MASON ROAD	●	●	●	●
DETAILS					
SHEET C-11.0	MISCELLANEOUS DETAILS	●	●	●	●
SHEET C-11.1	MISCELLANEOUS DETAILS	●	●	●	●
SPECIFICATIONS					
SHEET C-12.0	SPECIFICATIONS	●	●	●	●
SHEET C-12.1	SPECIFICATIONS	●	●	●	●
LANDSCAPE					
SHEET LS-1	OVERALL LANDSCAPE PLAN VIEW	●	●	●	●
SHEET LS-2	PLANTING DETAIL PLAN (SINGLE FAMILY)	●	●	●	●
SHEET LS-3	PLANTING DETAIL PLAN (SINGLE FAMILY)	●	●	●	●
SHEET LS-4	PLANTING DETAIL PLAN (DETENTION POND)	●	●	●	●
SHEET LS-5	PLANTING DETAIL PLAN (SOD AND SEEDING)	●	●	●	●
DTE LIGHTING					
SHEET 1-6	DTE LIGHTING PLANS	●	●	●	●
HOWELL TOWNSHIP, MHOG, LIVINGSTON COUNTY STANDARD DETAILS					

INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS

MEGA
INC.

298 VETERANS DRIVE
FOWLERVILLE,
MICHIGAN 48836
(OFFICE) 517-223-3512
MONUMENTENGINEERING.COM

SERVICE DISABLED VETERAN OWNED
SMALL BUSINESS (SDVOSSB)



Kevin C. McDevitt

Call MISS DIG
3 full working days before you dig.

Michigan's Utility Notification One-Call
www.missdig.org
1-800-482-7171

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT :

M/I HOMES OF MICHIGAN, L.L.C.

40950 WOODWARD AVE
SUITE 203
BLOOMFIELD HILLS, MI 48304
POC: DAVID STRAUB
(248)-221-5011

SHEET INDEX

HERITAGE SQUARE (SINGLE FAMILY)
95 AC. NW CORNER BURKHART & MASON ROADS
PART OF THE SE 1/4 OF SEC. 32, T3N, R4E,
HOWELL TWP., LIVINGSTON COUNTY, MICHIGAN

PLAN SUBMITTALS/REVISIONS	DATE
SITE PLAN SUBMITTAL	05/09/2024
PHASE 1 FINAL SITE PLAN SUBMITTAL	09/18/2024
EGLC JOINT PERMIT SUBMITTAL	10/09/2024
CONSTRUCTION DOCUMENT REVIEW SET	11/04/2024
REVISED PUD MAXIMUM COVERAGE	12/18/2024

ORIGINAL ISSUE DATE: 5/09/2024

PROJECT NO: 21-075C

SCALE: N/A
0 1/2" 1"

FIELD:
DRAWN BY: DC,MN,CK,DJ
DESIGN BY: KM
CHECK BY: KM

G-11

NOT FOR CONSTRUCTION



INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS

MEGA
Engineering Group Associates

298 VETERANS DRIVE
FOWLERVILLE, MICHIGAN 48836
(OFFICE) 517-223-3512
MONUMENTENGINEERING.COM

SERVICE DISABLED VETERAN OWNED
SMALL BUSINESS (SDVOSS)

KEVIN C. MCDEVITT
ENGINEER
NO. 6201043260

Call MISS DIG
3 full working days before you dig.

Utility Notification Organization

1-800-482-7171
www.missdig.org

CLIENT :

M/I HOMES OF MICHIGAN, L.L.C.
40950 WOODWARD AVE
SUITE 203
BLOOMFIELD HILLS, MI 48304
POC: DAVID STRAUB
(248)-221-5011

SITE PLAN - PUD OVERVIEW

HERITAGE SQUARE (SINGLE FAMILY) MASON ROADS
95 AC. NW CORNER BURKHART & MASON ROADS
PART OF THE SE 1/4 OF SEC. 32, T3N, R4E,
HOWELL TWP., LIVINGSTON COUNTY, MICHIGAN

DATE	DESCRIPTION
05/09/2024	PLAN SUBMITTALS/REVISIONS
09/18/2024	PHASE 1 FINAL SITE PLAN SUBMITTAL
10/17/2024	ECCLE JOINT PERMIT SUBMITTAL
11/07/2024	CONSTRUCTION DOCUMENT REVIEW SET
12/18/2024	REVISED PUD MAXIMUM COVERAGE

ORIGINAL ISSUE DATE: 5/09/2024

PROJECT NO: 21-075C

SCALE: 1" = 120'

FIELD: DRAWN BY: DC,MM,CK,DJ
DESIGN BY: KM
CHECK BY: KM

C-10

NOT FOR CONSTRUCTION

PAVEMENT LEGEND

- EX. ASPHALT
- EX. CONCRETE
- EX. GRAVEL
- PR. STANDARD DUTY ASPHALT
- PR. CONCRETE
- STANDARD CURB AND GUTTER
- STRAIGHT CURB
- PROPOSED CLUSTER MAILBOX

PROVIDED SETBACKS

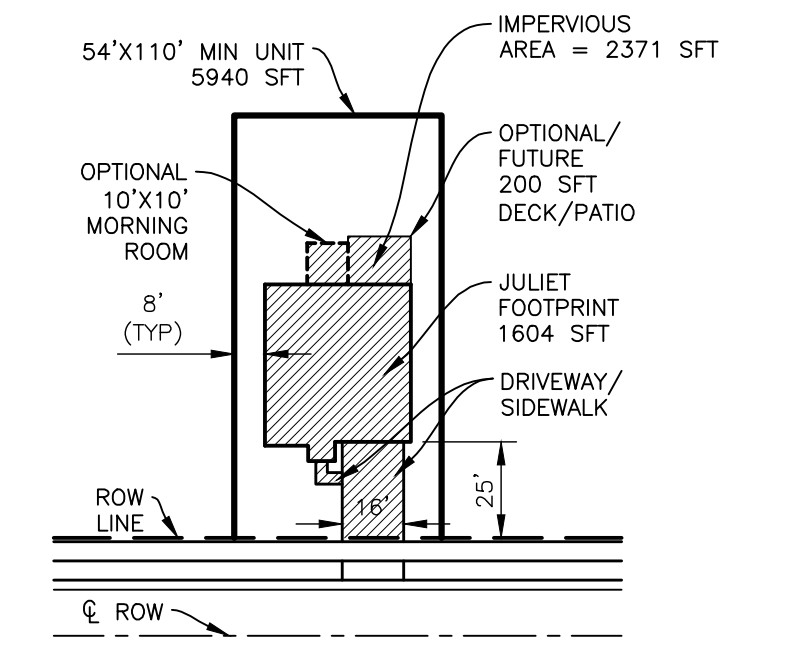
- SINGLE FAMILY RESIDENTIAL
- FRONT SETBACK: 24 FEET
 - SIDE SETBACK: 7 FEET (14 TOTAL)
 - REAR SETBACK: 25 FEET (INTERNAL)
 - 40 FEET (PERIMETER ADJACENT SFR)
 - 30 FEET (PERIMETER ADJACENT MFR)

COVERAGE

NOTE: COVERAGE CALCULATION BELOW IS BASED ON THE LARGEST FLOOR PLAN OPTION, ON THE SMALLEST UNIT SIZE.

SINGLE FAMILY RESIDENTIAL

- AVERAGE PAVED/BLDG AREA PER UNIT: 2371 SFT
- MAX. HOME FOOTPRINT: 1911 SFT +/- (JULIET W/BONUS ROOM & DECK)
- DRIVE (25' X 16'): 400 SFT
- CONNECTOR WALK (5' X 12'): 60 SFT
- MINIMUM LOT AREA: 5940 SFT
- PROPOSED MAXIMUM COVERAGE = 40% (COVERAGE ALLOWED PER SFR ZONING = 30%)



TYPICAL UNIT LAYOUT

SCALE: 1" = 50'

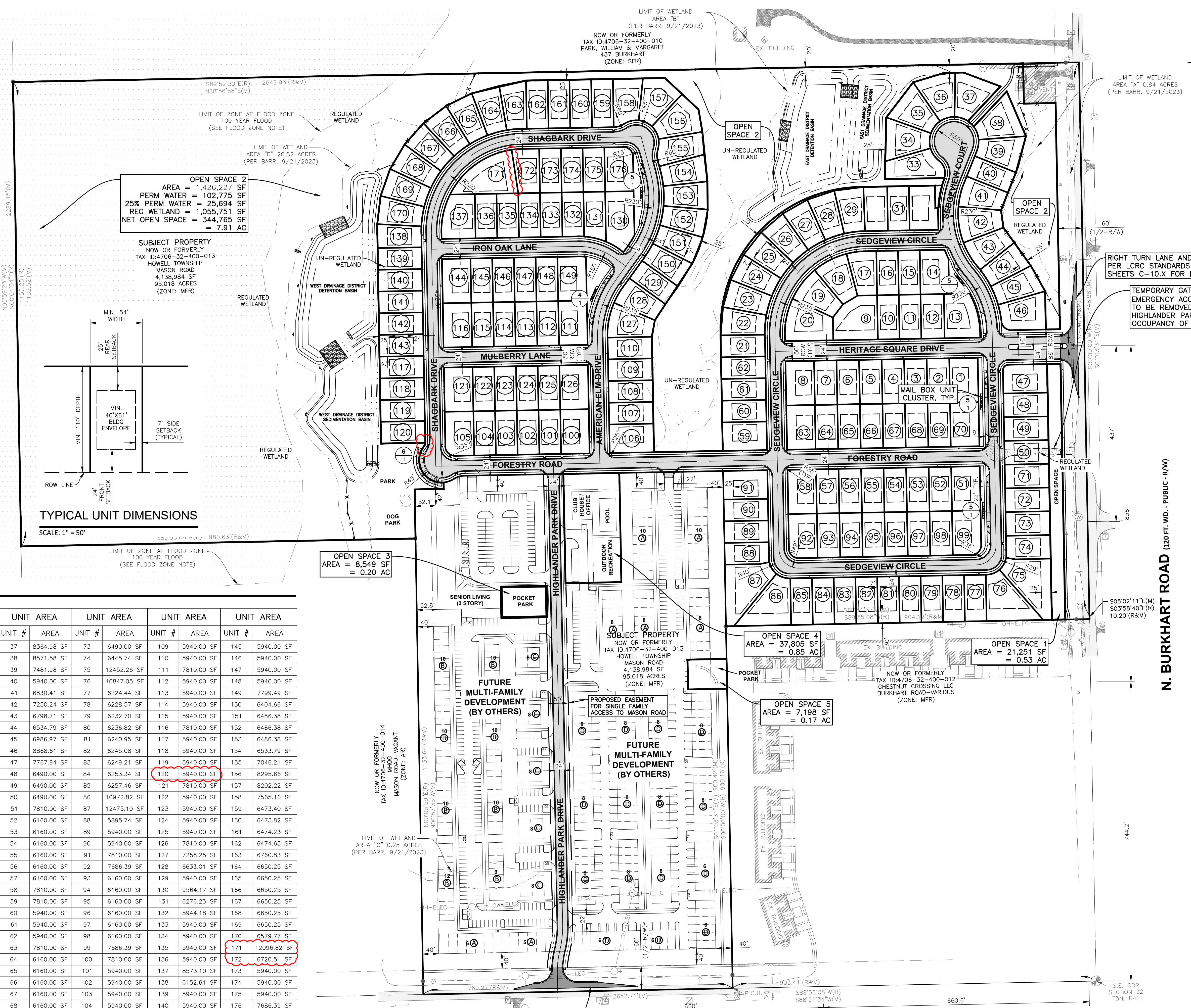
NOTE: LAYOUT MAY VARY BASED ON FLOOR PLAN AND OWNER SELECTED OPTIONS. TYPICAL UNIT LAYOUT BASED ON JULIET FLOOR PLAN (LARGEST OFFERED BY DEVELOPER). FOOTPRINT SIZE OF OTHER TYPICAL FLOORPLANS BY THIS DEVELOPER ARE AS FOLLOWS (MAX COVERAGE):

- JULIET: 1604 SFT (39.9%)
- PEYTON: 1508 SFT (38.3%)
- AUBREY: 1472 SFT (37.7%)
- BROOKLYN: 1419 SFT (36.8%)
- SAWYER: 1330 SFT (35.3%)

NOTES

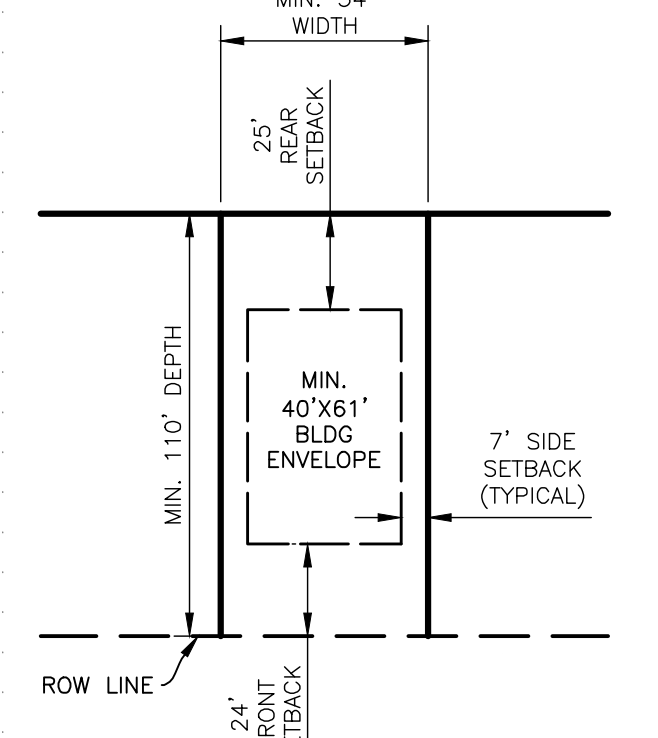
1. MINIMUM LOT WIDTH IN SINGLE FAMILY IS 54' WIDE AT THE FRONT SETBACK LINE.
2. TRASH REMOVAL SHALL BE CURBSIDE ROLL-OFF CONTAINERS AT EACH HOME SITE.
3. SCREENING SHALL BE PROVIDED FOR ALL MECHANICAL EQUIPMENT.
4. ALL MAIL BOX UNIT SITES WILL HAVE 1 SIGNED BARRIER FREE SPACE PROVIDED. MAIL BOX UNITS ARE LOADED FROM THE FRONT SIDE (NO REAR ACCESS REQUIRED).
5. HERITAGE SQUARE DRIVE, EAST AND WEST HERITAGE CIRCLE AND FORESTRY ROAD ARE TO BE RECORDED AS CROSS ACCESS EASEMENTS FOR THE FUTURE HERITAGE SQUARE MULTIFAMILY.
6. SEE LIGHTING PLANS PROVIDED BY DTE FOR LIGHTING LOCATION, DETAILS AND PHOTOMETRICS.

NOTE: THIS OVERVIEW PLAN IDENTIFIES FEATURES TO BE CONSTRUCTED BY OTHERS WITHIN THE MULTIFAMILY PORTION OF THE PUD. THIS PLAN SET IS ONLY FOR CONSTRUCTION OF THE SINGLE FAMILY AREA, HIGHLANDER PARK DRIVE, AND THE WATER MAIN LOOP TO MASON ROAD ONLY. THESE PLANS ARE NOT TO BE USED FOR, OR IMPLY APPROVAL OF ANY OTHER CONSTRUCTION WITHIN THE MULTI-FAMILY AREAS.



OPEN SPACE 2
AREA = 1,426,227 SF
PERM WATER = 102,775 SF
25% PERM WATER = 25,694 SF
REG WETLAND = 1,055,751 SF
NET OPEN SPACE = 344,765 SF
= 7.91 AC

SUBJECT PROPERTY
NOW OR FORMERLY
TAX ID: 4706-32-400-013
HOWELL TOWNSHIP
MASON ROAD
4,138,984 SF
95.018 ACRES
(ZONE: MFR)



TYPICAL UNIT DIMENSIONS
SCALE: 1" = 50'

OPEN SPACE 3
AREA = 8,549 SF
= 0.20 AC

OPEN SPACE 4
AREA = 37,805 SF
= 0.85 AC

OPEN SPACE 1
AREA = 21,251 SF
= 0.53 AC

OPEN SPACE 5
AREA = 7,198 SF
= 0.17 AC

UNIT AREAS

UNIT #	AREA	UNIT #	AREA	UNIT #	AREA	UNIT #	AREA	UNIT #	AREA
1	7810.00 SF	37	8364.98 SF	73	6490.00 SF	109	5940.00 SF	145	5940.00 SF
2	6160.00 SF	38	8571.58 SF	74	6445.74 SF	110	5940.00 SF	146	5940.00 SF
3	6160.00 SF	39	7481.98 SF	75	12452.26 SF	111	7810.00 SF	147	5940.00 SF
4	6160.00 SF	40	5940.00 SF	76	10847.05 SF	112	5940.00 SF	148	5940.00 SF
5	6160.00 SF	41	6830.41 SF	77	6224.44 SF	113	5940.00 SF	149	7799.49 SF
6	6160.00 SF	42	7250.24 SF	78	6228.57 SF	114	5940.00 SF	150	6404.66 SF
7	6160.00 SF	43	6798.71 SF	79	6232.70 SF	115	5940.00 SF	151	6486.38 SF
8	7810.00 SF	44	6534.79 SF	80	6236.82 SF	116	7810.00 SF	152	6486.38 SF
9	10872.09 SF	45	6986.97 SF	81	6240.95 SF	117	5940.00 SF	153	6486.38 SF
10	5940.00 SF	46	8868.61 SF	82	6245.08 SF	118	5940.00 SF	154	6533.79 SF
11	5940.00 SF	47	7767.94 SF	83	6249.21 SF	119	5940.00 SF	155	7046.21 SF
12	6380.00 SF	48	6253.34 SF	84	6253.34 SF	120	5940.00 SF	156	8295.66 SF
13	8953.35 SF	49	6490.00 SF	85	6257.46 SF	121	7810.00 SF	157	8202.22 SF
14	7708.24 SF	50	6490.00 SF	86	10972.82 SF	122	5940.00 SF	158	7565.16 SF
15	5940.00 SF	51	7810.00 SF	87	12475.10 SF	123	5940.00 SF	159	6473.40 SF
16	5940.00 SF	52	6160.00 SF	88	5895.74 SF	124	5940.00 SF	160	6473.82 SF
17	6740.01 SF	53	6160.00 SF	89	5940.00 SF	125	5940.00 SF	161	6474.23 SF
18	7246.25 SF	54	6160.00 SF	90	5940.00 SF	126	7810.00 SF	162	6474.65 SF
19	7303.38 SF	55	6160.00 SF	91	7810.00 SF	127	7258.25 SF	163	6760.83 SF
20	9574.50 SF	56	6160.00 SF	92	7686.39 SF	128	6633.01 SF	164	6650.25 SF
21	5964.47 SF	57	6160.00 SF	93	6160.00 SF	129	5940.00 SF	165	6650.25 SF
22	6512.90 SF	58	7810.00 SF	94	6160.00 SF	130	9564.17 SF	166	6650.25 SF
23	6512.90 SF	59	7810.00 SF	95	6160.00 SF	131	6276.25 SF	167	6650.25 SF
24	6512.90 SF	60	5940.00 SF	96	6160.00 SF	132	5944.18 SF	168	6650.25 SF
25	6512.90 SF	61	5940.00 SF	97	6160.00 SF	133	5940.00 SF	169	6650.25 SF
26	6512.90 SF	62	5940.00 SF	98	6160.00 SF	134	5940.00 SF	170	6579.77 SF
27	6512.90 SF	63	7810.00 SF	99	7686.39 SF	135	5940.00 SF	171	12096.82 SF
28	6512.90 SF	64	6160.00 SF	100	7810.00 SF	136	5940.00 SF	172	6720.51 SF
29	6832.77 SF	65	6160.00 SF	101	5940.00 SF	137	8573.10 SF	173	5940.00 SF
30	6372.18 SF	66	6160.00 SF	102	5940.00 SF	138	6152.61 SF	174	5940.00 SF
31	5940.00 SF	67	6160.00 SF	103	5940.00 SF	139	5940.00 SF	175	5940.00 SF
32	8114.74 SF	68	6160.00 SF	104	5940.00 SF	140	5940.00 SF	176	7686.39 SF
33	8404.92 SF	69	6160.00 SF	105	7686.39 SF	141	5940.00 SF		
34	8184.99 SF	70	7810.00 SF	106	7810.00 SF	142	5940.00 SF		
35	8184.99 SF	71	6490.00 SF	107	5940.00 SF	143	5940.00 SF		
36	8076.40 SF	72	6490.00 SF	108	5940.00 SF	144	7810.00 SF		



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

TO: Howell Township Planning Commission

FROM: Paul Montagno, AICP, Township Planner
Grayson Moore, Planner

DATE: 1/21/25

RE: Heritage Square, PUD Amendment

We were asked to review a proposal to amend the approved Planned Unit Development (PUD) plan for Heritage Square, located at the northwest corner of Mason and Burkhart Roads. The amendment seeks approval to increase the maximum lot coverage from the current 30% to 40% for single-family detached homes within the development. Because the proposed amendment represents a deviation from the standards in the zoning ordinance the request must be considered an amendment to the PUD and go through the amendment process, which includes a public hearing to be held by the Planning Commission followed by a recommendation to the Township Board, who has the final authority to approve a PUD.

Background

Heritage Square PUD was initially approved by the Planning Commission on December 19, 2023, and by the Township Board on January 8, 2024. The PUD spans approximately 95 acres and includes areas for single-family and multi-family residential units. The development includes 176 single-family houses, 288 multi-family units, and a 3-story assisted living building with 90 units. This development is strategically designed to integrate with the existing landscape and community infrastructure, while allowing a diverse array of housing opportunities that cater to a variety of residents. The approved PUD includes a number of approved deviations designed to preserve natural open space while allowing for the development of housing units on smaller lots using less infrastructure.

Previous plan reviews highlighted the need for effective stormwater management, which was addressed through the detention basins design. Discussions also focused on traffic impact and access routes, resulting in a site plan that includes multiple access points and developer contributions towards road improvements. These adjustments have been made in response to community feedback and regulatory requirements to ensure that the development proceeds with minimal environmental and community impact.

*Benjamin R. Carlisle, President John L. Enos, Vice President Douglas J. Lewan, Principal
David Scurto, Principal Sally M. Elmiger, Principal R. Donald Wortman, Principal Craig Strong, Principal
Paul Montagno, Principal Megan Masson-Minock, Principal Laura Kreps, Principal Brent Strong, Principal
Richard K. Carlisle, Past President/Senior Principal*

Proposed Amendment

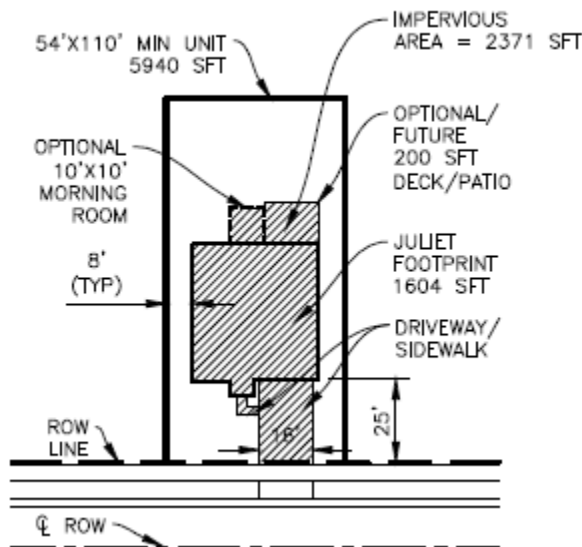
The applicant's amendment request is intended to accommodate larger home designs that could include larger building footprints as well as amenities such as decks and patios. The increase in lot coverage would allow for more spacious living environments without the need for future PUD amendments for modifications that might exceed the existing coverage limits.

Planning and Zoning Considerations

1. Environmental Management:

- The PUD includes two detention basins designed to manage increased stormwater runoff efficiently. The developer has indicated that the basins have been sized considering the maximum footprint of the largest homes planned for the development. We defer to the Township Engineer or County Drain Commissioner to verify these calculations.

COVERAGE	
NOTE: COVERAGE CALCULATION BELOW IS BASED ON THE LARGEST FLOOR PLAN OPTION, ON THE SMALLEST UNIT SIZE.	
SINGLE FAMILY RESIDENTIAL	
AVERAGE PAVED/BLDG AREA PER UNIT:	2371 SFT
MAX. HOME FOOTPRINT :	1911 SFT +/- (JULIET W/BONUS ROOM & DECK)
DRIVE (25' X 16') :	400 SFT
CONNECTOR WALK (5' X 12'):	60 SFT
 MINIMUM LOT AREA :	 5940 SFT
 PROPOSED MAXIMUM COVERAGE = 40% (COVERAGE ALLOWED PER SFR ZONING = 30%)	



NOTE: LAYOUT MAY VARY BASED ON FLOOR PLAN AND OWNER SELECTED OPTIONS. TYPICAL UNIT LAYOUT BASED ON JULIET FLOOR PLAN (LARGEST OFFERED BY DEVELOPER). FOOTPRINT SIZE OF OTHER TYPICAL FLOORPLANS BY THIS DEVELOPER ARE AS FOLLOWS (MAX COVERAGE):

JULIET:	1604 SFT (39.9%)
PEYTON:	1508 SFT (38.3%)
AUBREY:	1472 SFT (37.7%)
BROOKLYN:	1419 SFT (36.8%)
SAWYER:	1330 SFT (35.3%)

2. Infrastructure Impact:

- Allowing for an increase in the size of the individual homes, resulting in increased lot coverage, should not impact new or existing infrastructure, particularly in terms of additional strain on sewage and water systems.

3. Public Open Spaces:

- The proposed amendment does not affect the adequacy of the public open spaces as originally planned, despite the increased footprint of individual lots. This is crucial for maintaining community well-being and ecological balance.

4. Community Impact:

- By allowing a 40% lot coverage, the development can offer more substantial housing options, enhancing the variety of available homes without expanding the physical footprint of the developed area.

5. Precedent and Consistency:

- The proposed change maintains the intent of the PUD by providing quality housing while managing environmental impacts effectively.

Recommendation

After reviewing the proposed changes and considering their alignment with the Township's objectives and zoning requirements, we recommend the Planning Commission approve the

amendment to increase the lot coverage to 40% subject to an engineering review of the stormwater capacity.



CARLISLE/WORTMAN ASSOC., INC.
Paul Montagno, AICP
Principal



CARLISLE/WORTMAN ASSOC., INC.
Grayson Moore
Community Planner

January 28th, 2025

Kevin McDevitt
Monument Engineering Group Associates
298 Veterans Drive
Fowlerville, MI 48836

RE: Heritage Square
Parcel Number 4706-32-400-013
Construction Site Plan Review

Mr. McDevitt,

We have received and reviewed the construction site plans for Heritage Square (Single Family). Plans were prepared by Monument Engineering Group Associates, Inc on behalf of M/I Homes of Michigan, LCC and are dated November 4, 2024. Based on our review, we offer the following comments.

General

- A legal description has been provided, including bearings, distances, and closures within acceptable tolerances. However, the bearing for the section line along Mason Road, from the southeast corner of Section 32 to the southwest corner of the parcel, differs between sheets V-1.0 and G-1.0.
- According to the Livingston County Drain Commissioner's letter dated 11/20/24, the CPVC volume in the land use summary table should be listed as zero because the permanent pool volumes are below the groundwater elevations indicated in the soils report. Please update the plans accordingly to reflect this correction.

Grading and Drainage

- It is unclear how the rear yard drainage from units on the perimeter that are not adjacent to the basins (units 21-25, 59-62, 106-110, and 150-153) is directed into the proposed stormwater management system.
- The following two items are not currently included in the provided plans and should be added:
 - Structure IN-34 and the pipe segment between IN-34 and CB-35, which are missing on profile sheet C-6.9,
 - The pipe segment from IN-146 to IN-147, which is not included on the profile sheets.
- Stormwater detention and conveyance calculations have been reviewed, and no issues were noted. However, according to the Livingston County Drain Commission's letter dated November 20, 2024, an increase in the C value due to greater lot coverage will result in a storage deficit.
- LCDC's letter also recommends increasing the diameter of the east detention outlet to 24 inches and adjusting the elevations on sheets CS-176 and ES-177. Please update the plans accordingly to reflect these changes.
- We defer to LCDC for review and approval.

Sanitary Sewer

- Sanitary profile sheet C-4.4 should include a label with the rim and invert elevation information for San-18.
- The contractor must verify the sanitary sewer connection point stub elevation at Pump Station #72 before proceeding with the sewer connection. Confirm the invert elevation, diameter, and grade of the stub to prevent the formation of an inflection point at the connection.
- There must be a 0.10-foot elevation difference between the inlet and outlet pipe inverts within manholes San-9, San-10, San-11, San-12, San-13, San-14, San-15, San-17, and San-20.
- The Developer is required to submit all necessary EGLE Part 41 Permit Application information to the Township Engineer for review, as the resulting sanitary sewer will be publicly owned. The Township Engineer will then submit the EGLE Part 41 Permit Application on behalf of the Township and coordinate the permit process with MEGA. Submission of the permit application is contingent upon final site plan approval from the Planning Commission.
- The proposed basis of design flow outlined on Sheet C-3.0 is 302 GPM, while Pump Station #72 has a firm capacity of 555 GPM. Currently, approximately 30 GPM of flow is contributing to this station. Based on this information, Spicer Group believes that Pump Station #72 has sufficient capacity to service the Heritage Square development, and no modifications to the station are required at this time. The basis of design estimates that 500.4 REUs will be required for this development. The Township has indicated that the site currently has 569 sewer REUs allocated to it, meaning no additional sanitary REUs will be needed for this site.

Site Access and Paving

- The 'concrete path' shown on sheet C-1.1 references a detail on sheet C-11.0; however, this detail does not appear to be included on the indicated sheet.
- Roadway, curb, and sidewalk details are included and meet the requirements, with the exception of the curb and gutter shown for the county road right-of-way. This should be replaced with an MDOT B2 detail, as indicated in the Livingston County Road Commission's red-lined plans dated November 6, 2024.
- All other comments from the Livingston County Road Commission's November 6, 2024 letter should be addressed accordingly.
- The location of the temporary emergency access road should be adjusted to avoid conflict with the existing hydrant on Burkhart Road. Dimensions of the road should be included on the plans and should be a minimum 13-feet in width.
- We defer to LCRC and the Fire Marshal for review and approval.

Water main

- The water main was previously reviewed by MHOG in their January 10, 2025 Construction Plan Review. The plans should be revised to address their comments.
- We defer to MHOG for further comment and approval relating to the water main.

Landscaping

- Landscaping plans have been provided. We defer to the Township Planner to comment on the Landscaping plan for review and approval.

Lighting

- A photometric plan has been provided. The plan indicates that no light is leaving the site. We defer to the Township Planner for further comments and approval of the site lighting.

If you have any questions or need anything further, please feel free to contact our office.

Sincerely,

A handwritten signature in black ink, appearing to read "Adam C. Jacqmain".

Adam C. Jacqmain
Design Engineer
Phone: (989) 598-6196
adamj@spicergroup.com

A handwritten signature in black ink, appearing to read "Philip A. Westmoreland".

Philip A. Westmoreland, P.E.
Principal
Phone: (517) 375-9449
philaw@spicergroup.com

CC: SGI File
Jonathan Hohenstein, Howell Township Planner
Ken Recker, Livingston County Chief Deputy Drain Commissioner
Paul Montagno, Carlisle Wortman
Bryan Hager, Howell Township Fire Inspector
Al Pruss, MEGA

Howell Township Treasurer

From: Ken Recker <KRecker@livgov.com>
Sent: Wednesday, December 18, 2024 5:32 PM
To: Howell Township Treasurer
Cc: Bradley, John W.; Paul Montagno (pmontagno@cwaplan.com); Jennifer McGinty
Subject: RE: Heritage Square - PUD Amendment

Jonathan,

Per our discussion earlier today, the office of the Livingston County Drain Commissioner has no objections to the proposed increase in lot coverage for the Heritage Square PUD, based on Kevin McDevitt's electronic correspondence to our office and Howell Township dated December 16, 2024.

This is of course based on our office and/or Spicer as Township Engineer completing review of construction plans.

If you have any questions give me a call.

Merry Christmas & Happy New Year !

Kenneth E. Recker, II, P.E.
Chief Deputy Drain Commissioner
Livingston County, Michigan
Ph. 517-546-0040