

**HOWELL TOWNSHIP PLANNING COMMISSION  
REGULAR MEETING**

3525 Byron Road  
Howell, MI 48855  
July 23, 2024  
6:30 pm

1. Call to Order
2. Roll Call:      ( ) Wayne Williams - Chair              ( ) Paul Pominville  
                    ( ) Robert Spaulding – Vice Chair   ( ) Tim Boal  
                    ( ) Mike Newstead – Secretary       ( ) Chuck Frantjeskos  
                    ( ) Matthew Counts – Board Rep.
3. Pledge of Allegiance
4. Approval of the Agenda:  
   Planning Commission Regular Meeting: July 23, 2024
5. Approval of the Minutes:  
   Regular Meeting June 25, 2024
6. Zoning Board of Appeals Report:
7. Township Board Report:  
   Draft Board Minutes July 8, 2024
8. Scheduled Public Hearings
9. Other Matters to be Reviewed by the Planning Commission:
10. Old Business:
11. New Business:  
   A. Preliminary Site Plan Approval – Cornerstone Group 4706-28-301-034
12. Call to the Public:
13. Adjournment

DRAFT

HOWELL TOWNSHIP PLANNING COMMISSION  
REGULAR MEETING MINUTES  
3525 Byron Road Howell, MI 48855  
June 25, 2024  
6:30 P.M.

**MEMBERS PRESENT:**

Robert Spaulding Vice Chair  
  
Bob Wilson Board Rep. Alt.  
Paul Pominville Commissioner  
Tim Boal Commissioner  
Chuck Frantjeskos Commissioner

**MEMBERS ABSENT:**

Wayne Williams Chair  
  
Mike Newstead Secretary

**Also in Attendance:**

Township Planner Paul Montagno, Zoning Administrator Jonathan Hohenstein

Vice Chairman Spaulding called the meeting to order at 6:30 pm. The roll was called. Vice Chairman Spaulding requested members rise for the Pledge of Allegiance.

**APPROVAL OF THE AGENDA:**

**Motion** by Boal, **Second** by Pominville, **“To amend the agenda on two counts. If we could move number eleven to number nine, new business and the number after that and add to number nine discussion of the Michigan Supreme Court decision concerning permissive zoning ordinances.”** Motion carried.

**APPROVAL OF THE MEETING MINUTES:**

May 28, 2024

**Motion** by Boal, **Second** by Frantjeskos, **“To approve the minutes as presented.”** Motion carried.

**ZONING BOARD OF APPEALS REPORT:**

Draft minutes are included in the packet. No questions or comments.

**TOWNSHIP BOARD REPORT:**

Draft minutes are included in the packet. No questions or comments.

**SCHEDULED PUBLIC HEARINGS:**

None.

**NEW BUSINESS:**

A. Request for temporary use – Fireworks Tent

Planner Montagno gave an overview of the request for a temporary use permit for a fireworks sales tent and summarized his report. Applicant spoke to the proposed hours of operation, safety signs as required by State law. Discussion followed including questions regarding Fire Marshal comments, insurance limits, dates of operation, hours of operation, temporary signs.

**Motion** by Pominville, **Second** by Counts, **“To approve the temporary site plan for Galaxy Fireworks for location 1475 N. Burkhart Road for the days of June 26<sup>th</sup> through July 7<sup>th</sup>.** Motion carried.

B. Chestnut Self-Storage – Final Site Plan Review

Planner Montagno gave an overview of the request for a self-storage facility in the Industrial Flex Zone and summarized his report. MEGA Engineer Mark Melchi and Applicant spoke about the project including: bathrooms in each unit, parking for employees, current tree locations, light fixtures on site, trash enclosure details, County Road Commission comments, County Drain Commission comments, proposed using two moveable loading docks, moveable demising walls between units to adjust size of each unit. Discussion followed including: restrooms in each unit, development schedule, portable docks, 50' setbacks for structures on County primary roads, fencing.

**Motion by Counts, Second by Pominville, “For preliminary site plan approval for Chestnut Development LLC, Chestnut Self-Storage, contingent upon all the comments listed in the Planner’s report dated June 19, 2024.”** Discussion followed. Motion carried 4-1.

**OTHER MATTERS TO BE REVIEWED BY THE PLANNING COMMISSION:**

A. Michigan Supreme Court Decision Concerning Permissive Zoning Ordinances

Commissioner Boal presented an article from Township Attorney Chris Patterson regarding a recent Michigan Supreme Court decision concerning permissive zoning ordinances. Planner Montagno highlighted how the decision would affect the Township. Discussion followed.

**OLD BUSINESS:**

A. Storage Container Ordinance - Discussion

Planner Montagno discussed the changes made to the draft ordinance. Discussion followed, including:

- Units under 200 square feet
- Criteria to allow a structure in the front yard
- Circumstances surrounding previously granted variances for structures in the front yard
- Screening requirements
- Painting / Allowing lettering on containers

It was the consensus of the Commission for Planner Montagno to update the draft ordinance on some of the issues discussed.

B. ADU Ordinance – Discussion

Planner Montagno discussed the changes made to the draft ordinance. Discussion followed, including:

- Locational requirements
- Utility sharing and repercussions
- Detached versus attached
- Low-cost approach to increase housing for various needs
- Changing the feel of single-family housing
- Garages for ADUs

It was the consensus of the Commission for Planner Montagno to update the draft ordinance on some of the issues discussed.

**CALL TO THE PUBLIC:**

Curt Hamilton, 1367 Crestwood Ln.: spoke about the draft storage container ordinance provisions, homeowner’s associations, low-cost rentals, ADU ordinance provisions, affordable housing, he is running for Howell Township Trustee.

**ADJOURNMENT:**

**Motion** by Counts, **Second** by Pominville, **“To adjourn.”** Motion carried. The meeting was adjourned at 9:06 p.m.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Mike Newstead  
Planning Commission Secretary



**DRAFT**

**HOWELL TOWNSHIP REGULAR BOARD  
MEETING MINUTES**  
3525 Byron Road Howell, MI 48855  
July 8, 2024  
6:30 P.M.

**MEMBERS PRESENT:**

Mike Coddington	Supervisor
Sue Daus	Clerk
Jonathan Hohenstein	Treasurer
Matthew Counts	Trustee
Harold Melton	Trustee
Bob Wilson	Trustee

**MEMBERS ABSENT:**

Jeff Smith      Trustee

**Also in Attendance:**

Five people were in attendance.

Supervisor Coddington called the meeting to order at 6:30 p.m. The roll was called. Supervisor Coddington requested members rise for the Pledge of Allegiance.

**CALL TO THE BOARD:**

Treasurer Hohenstein requested to remove the closed session for Oakland Tactical.

**APPROVAL OF THE AGENDA:**

July 8, 2024

**Motion** by, Melton **Second** by, Hohenstein **“To approve the agenda as presented plus the omission of the closed session.”** Motion carried.

**APPROVAL OF BOARD MEETING MINUTES:**

June 10, 2024

REGULAR BOARD MEETING MINUTES

**Motion** by Melton, **Second** by Counts. **“To approve the meeting minutes as presented for the 10th.”** Motion carried, 1 dissent.

**CALL TO THE PUBLIC:**

Curt Hamilton, 1367 Crestwood Lane.: Spoke about Shiawassee River and EPA Report that is to be released by August, would like it added to a future Board agenda.

**UNFINISHED BUSINESS:**

A. Oakland Tactical v. Howell Township

Treasurer Hohenstein reported on the status of the Oakland Tactical v. Howell Township lawsuit. The closed session was removed from the agenda because Oakland Tactical had requested the entire Sixth Circuit Court review the case and the Court denied Oakland's request. Oakland's last option is to apply to the U.S. Supreme Court.

B. Spring Clean-Up Day Summary

Treasurer Hohenstein reported on Deputy Treasurer Murrish's summary of the spring clean-up day and requested next year's clean-up day to be May 17, 2025. It was the consensus of the Board to accept May 17, 2025 for the spring clean-up day.

C. Attorney Reviewed Agreement for Walking Path Maintenance

Treasurer Hohenstein discussed the agreement drafted by the Township attorney. **Motion** by Hohenstein, **Second** by Wilson, **"To approve the independent contractor agreement with Howell Township and Robert K. Wilson as presented."** Discussion followed. Mr. Wilson had submitted a sample insurance policy; Board members would like the Township attorney to review Mr. Wilson's actual insurance policy before it is approved. Roll call vote: Melton- yes, Daus-yes, Wilson-yes, Coddington-yes, Counts- no, Hohenstein- yes. Motion carried 5-1.

**NEW BUSINESS:**

A. Other Township Clean-Up Day Options - Discussion

Deputy Treasurer Murrish put together other possible items for a fall clean-up day event including electronic recycling, paper shredding, composting, and Red Barrel Day. Discussion followed. **Motion** by Hohenstein, **Second** by Counts, **"Move to accept fall event proposal as presented."** Motion carried.

B. Human Resources - Recommendations

Treasurer Hohenstein discussed the Human Resource Committee's recommendations for Township employee pay increases for 2024-2025; to use Social Security's cost of living adjustment plus 1% for an increase of 4.2%. Discussion followed. **Motion** by Hohenstein, **Second** by Melton. **"To accept human committee's recommendation for proposed 2024-2025 payroll increases for Township employees as presented."** Motion carried, 1 dissent.

C. Officer Salary – Discussion / Resolutions

Board discussed Township Officer salaries.

**Motion** by Melton, **Second** by Hohenstein **"To up it by 4.2%, resolution number 07.24.537."** Discussion followed. Roll call vote: Hohenstein- yes, Daus- yes, Counts- yes, Wilson- no, Coddington- yes, Melton-yes. Motion carried 5-1.

**Motion** by Hohenstein **"To accept Resolution 07.24.538 for a 4.2% increase for the Clerk."** Roll call vote: Daus-yes, Wilson-no, Coddington-yes, Melton- yes, Hohenstein- yes, Counts- yes. Motion carried 5-1.

**Motion** by Hohenstein, **Second** by Melton **"To accept Resolution 07.24.539 for a 4.2% increase as presented."** Roll call vote: Wilson- No, Melton- yes, Hohenstein- yes, Coddington- yes, Daus-yes, Counts-yes. Motion carried 5-1.

**Motion** by Hohenstein, **Second** by Daus **"To accept Resolution 07.24.540 for a 4.2% increase."** Roll call vote: Counts- yes, Coddington- yes, Hohenstein- yes, Melton- yes, Wilson- no, Daus-yes. Motion carried 5-1.

D. 2023-2024 Budget Amendments

Treasurer Hohenstein explained the budget amendments from Deputy Supervisor Kilpela. **Motion** by Counts, **Second** by Hohenstein, **"To accept budget amendments as presented."** Motion carried, 1 dissent.

**CALL TO THE PUBLIC:**

None

**REPORTS:**

- A. SUPERVISOR:  
Supervisor Coddington reported working with the County on the Shiawassee River situation
  
- B. TREASURER:  
Treasurer Hohenstein reported that summer tax bills have been mailed out
  
- C. CLERK:  
Clerk Daus reported that ballots have been sent out
  
- D. ZONING:  
See Zoning Administrator Hohenstein's report
  
- E. ASSESSING:  
See Assessor Kilpela's report
  
- F. FIRE AUTHORITY:  
Supervisor Coddington reported on the Fire Authority
  
- G. MHOG:  
Trustee Counts reported on MHOG
  
- H. PLANNING COMMISSION:  
See draft minutes
  
- I. ZONING BOARD OF APPEALS (ZBA):  
No report
  
- J. WWTP:  
Treasurer Hohenstein reported that the operators need a portable dissolved oxygen meter to help run the plant. **Motion** by Melton, **Second** by Hohenstein **"To approve the cost of the portable dissolved oxygen meter for \$2,343.00."** Motion carried.
  
- H. HAPRA:  
Clerk Daus reported on the Rec on the Go Van and focusing on the millage
  
- I. PROPERTY COMMITTEE:  
No report
  
- J. PARK & RECREATION COMMITTEE:  
No report

**DISBURSEMENTS: REGULAR PAYMENTS AND CHECK REGISTER:**

**Motion** by Hohenstein, **Second** by Melton, **“To accept the disbursements as presented and any normal and customary payments for the month.”** Motion carried.

**ADJOURNMENT:** **Motion** by Counts **Second** by Daus, **“To adjourn.”** Motion carried. The meeting was adjourned at 7:03 pm.

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Sue Daus, Howell Township Clerk

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Mike Coddington, Howell Township Supervisor

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Marnie Hebert, Recording Secretary

**HOWELL TOWNSHIP**  
**Application for Site Plan Review**  
 3525 Byron Road Howell, MI 48855  
 Phone: 517-546-2817 ext. 108  
 Email: inspector@howelltownshipmi.org

File # PC 2024-094706-28-301-034

Parcel ID #: 4706- <u>26</u> - <u>301</u> - <u>034</u>	Date _____
Applicant Name <u>Cornerstone group</u> Applicant Address <u>13757 12 mile South Lyon</u>	
Phone <u>2486133752</u> Fax _____ Email <u>tomcornerstone@gmail.com</u>	
Property Owner Name _____	
Phone _____ Fax _____ Email _____	
Please list all recipients to receive information and/or reports:	
Name: <u>Tom Schroder</u>	Email: <u>tomcornerstone@gmail.com</u>
Name: <u>Jim Witkowski</u>	Email: <u>jimgwit@gmail.com</u>
Name: _____	Email: _____

Location of Property <u>trans west industrial park</u>	Current Zoning Classification <u>industrial</u>
Existing Use <u>vacant</u>	Proposed Use <u>industrial</u>

Check One:

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Preliminary Site Plan Review (20.06) | <input type="checkbox"/> Final Site Plan Review (20.07)  |
| <input type="checkbox"/> Temporary Use (14.34)                           | <input type="checkbox"/> Commercial/Industrial Development   |
| <input type="checkbox"/> Subdivision/Site Plan Condo                     | <input type="checkbox"/> Multi-Family/Condo  |
| <input type="checkbox"/> Planned Unit Development (PUD) Type:            | 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5 <input type="checkbox"/> |

Applicant needs to provide the following site plan drawings: four (4) full size copies, eight (8) - 11" x 17" copies, and an electronic set (either on an USB drive or provide an online link) for the preliminary site plan drawings. Drawings shall be submitted with an application for site plan review (20.06 a) thirty (30) days prior to the meeting.

The site plan is to contain the following information or the drawing submitted under the Land Use Permit can be utilized if it also contains the following information and is accurately drawn to scale:

- a. The date, north arrow and scale. The scale shall be not less than 1" = 20' for property under three (3) acres and at least 1" = 100' for those (3) acres or more.
- b. Statistical data including number of dwelling units, size of dwelling units, if any, and total gross acreage involved. In the case of a mobile home park, the size and location of each mobile home site shall be shown.
- c. The location and height of all existing and proposed structures on and within 100' of the subject property's boundary.
- d. All lot and/or property lines are to be shown and dimensioned, including building setback lines on corner lots.
- e. The location and dimensions of all existing and proposed drives, sidewalks, curb openings, signs, exterior lighting, curbing, parking areas (show dimensions of a typical parking space), unloading areas and recreation areas.
- f. Vehicular traffic and pedestrian circulation features within and without the site.
- g. The location of all proposed landscaping, fences, or walls.
- h. Size and location of existing and proposed utilities, including proposed connection to public sewer or water supply system.
- i. A location map indicating the relationship of the site to the surrounding land uses.
- j. The location and pavement width and right-of-way width of all abutting roads, streets, alleys, or easements.
- k. Show properties and respective zoning abutting the subject property.
- l. The location and size of all surface water drainage facilities.
- m. Contour intervals shall be shown at a maximum of 2' intervals, with 1' intervals preferred for topographic features of the site.

By signing below the applicant understands and acknowledges the following statements:

- a. The Planning Commission has sixty (60) days from filing date to approve or deny site plan.
- b. Approval of preliminary site plan is valid for a period of one (1) year from date of approval.
- c. A one (1) year extension may be granted upon written request of the applicant and approval by the Planning Commission.
- d. Approval of preliminary site plan shall expire one year after approval of final site plan unless zoning permit has been obtained.
- e. Approval of the final site plan expires six (6) months after approval unless a land use permit application is applied for and granted.

- f. The final site plan approval shall expire one (1) year following the date of approval unless construction has begun on the property in accordance with the plan.
- g. Applicant may appeal the Planning Commission's ruling of the final site plan to the Board of Appeals within ten (10) days of the Planning Commission's decision on all matters except use of the land, use of buildings, or structures.
- h. The Planning Commission has sixty (60) days from the date of the Planning Commission meeting at which the final site plan was received to approve or deny the final site plan.
- i. Improvements not in conformance with the final site plan shall be deemed a violation of the ordinance and be subject to the penalties of the ordinance.
- j. Sewer system and water system tap in fees, if applicable, must be paid prior to issuance of a land use permit.

Applicant hereby deposes and says that all the above statements and information contained in this application and any statements submitted herewith or on the site plan are true and accurate.

*TUNSTALL*

Owner Signature

THOMAS N SEIFERTER

Print Name

7/3/2024

Date

Subscribed and sworn to before me this 3rd day of JULY, 2024.

*Audri Sommerfeld* Oakland County, Michigan  
Notary Public

My Commission Expires: 01/17, 2031.

**Audri Sommerfeld**  
Notary Public, State of Michigan  
County of Washtenaw  
My Commission Expires 1/17/2031  
Acting in the County of Oakland

**Howell Township  
Reimbursement Agreement**

The applicant accepts responsibility for all expenses at actual cost for professional services related to the application required by the Township for the issuance of any permits, approvals, reviews and attendance at meetings by the Township's Planner, Landscape Architects, Legal Counsel, Engineering and Administrative Staff, over and above the fees listed in the Howell Township fee schedule.

Information for Additional Billing:

Name Tom Schroder Address 13757 12 mile South Lyon  
Phone 248 613 3752 Email tomcornerstone@gmail.com

I have read and agree to the reimbursement agreement as presented between myself/my company and Howell Township.

Applicant Signature  Date 6-22-24

  
Notary Public  
~~Washtenaw~~ County, Michigan  
My Commission Expires: 2-26-26

ROBERT PETERS  
Notary Public, State of Michigan  
County of Washtenaw  
My Commission Expires 02-26-2026  
Acting in the County of Livingston

Owner Signature \_\_\_\_\_ Date \_\_\_\_\_

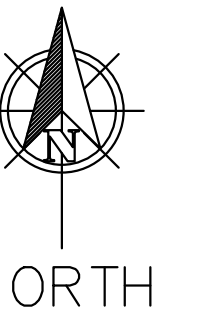
\_\_\_\_\_  
Notary Public  
\_\_\_\_\_ County, Michigan  
My Commission Expires: \_\_\_\_\_



# SITE PLAN FOR PROPOSED STORAGE UNIT DEVELOPMENT PARCEL NO-06-26-301-034 HOWELL TOWNSHIP, MI

**CLIENT**

MR, TOM SCHROEDER  
CORNERSTONE GROUP  
8555 BOULDER SHORES DR  
SOUTH LYON, MI 48178 E:TOMCORNERSTONE@GMAIL.COM  
PH:(248) 613-3752



**ENGINEER**

**FAIRWAY ENGINEERING LLC**  
28525 BECK ROAD, SUITE 114 WIXOM, MICHIGAN 48393  
O:(248) 938-4902  
CONTACT: MR. MARK MAHAJAN  
P:(248) 214-5913

**SITE ADDRESS**

PARCEL NO-4706-26-301-034  
HOWELL TOWNSHIP, MI

**TAX ID NUMBER**

4706-26-301-034

**ZONING**

I - INDUSTRIAL

**LEGAL DESCRIPTION**

SEC 28 T3N R4E PART OF LOTS 2 AND 3 OF TRANS WEST INDUSTRIAL CENTER SOUTH. DESCRIBED AS PART OF LOT 2 BEG AT SW COR LOT 2 TH N 07' 26' 15" W 116.17 FT TH N 44' 34' 02" E 173.50 FT TH S 45' 25' 58" E 130.38 FT TH S 01' 29' 40" E 154.26 FT TO N ROW AUSTIN COURT TH W'LY ALG SD ROW TO POB AND PART OF LOT 3 BEG AT SE COR LOT 3 AND AUSTIN COURT TH N 49' 33' 12" W 548.83 FT TH N 38' 40' 17" E 156.99 FT TH N 46' 39' 00" E 309.92 FT TH S 45' 25' 58" E 632.85 FT TH S 44' 34' 02" W 173.50 FT TH S 07' 26' 15" E 116.17 FT TO A PT ON N ROW AUSTIN COURT TH 193.32 FT ALG N ROW AUSTIN COURT TO POB 6.50 AC M/L SPLIT FROM 002 AND 003 12/15/2000

**LAND DEVELOPMENT SUMMARY**

**WATER:**  
THE WATER SERVICE FOR THE PROPOSED BUILDING WILL BE EXTENDED FROM EXISTING WATER MAIN EXISTING ON THE SOUTH SIDE OF THE PROPERTY AT AUSTIN COURT.  
**STORM:**  
DRAINAGE FROM THE SITE WILL BE COLLECTED IN PROPOSED ON-SITE STORM SYSTEM AND CONNECTED TO EXISTING STORM CATCH BASIN LOCATED ON SOUTHWEST CORNER OF PROPERTY WITH WATER QUALITY UNIT.  
**SANITARY:**  
THE SANITARY SERVICE FOR THE PROPOSED BUILDING WILL BE CONNECTED TO EXISTING ON-SITE 6" SANITARY LEAD FROM EX.12" SANITARY SEWER LOCATED ON THE SOUTH SIDE OF SITE.CONTRACTOR TO VERIFY THE EXISTING LEAD.  
**WETLANDS:**  
THERE ARE NO WETLAND WITHIN THE PROJECT LIMITS.  
**FLOODPLAIN:**  
FEMA FIRM #26093C301D (9/17/2008) INDICATES THIS SITE DOES NOT HAVE ANY FLOOD HAZARD  
**SOIL EROSION:**  
A SOIL EROSION PERMIT FROM THE LIVINGSTON COUNTY DRAIN COMMISSIONER (LCDC) WILL BE REQUIRED.

**BASIS OF BEARINGS**

THE BASIS OF BEARING IS AT SE CORNER OF LOT 3 AND AUSTIN CT ( AS MONUMENTED ), SAID LINE BEARS DUE NORTH

**BENCHMARK**

BENCH MARK-1  
SOUTHWEST CORNER OF SITE NEAR EX.STORM CATCH BASIN  
EX.SANITARY MANHOLE RIM: 911.88  
BENCHMARK-2  
SOUTH OF PROPERTY AND MIDDLE OF AUSTIN COURT  
EX.SANITARY MANHOLE RIM: 914.71

**SITE DATA**

**SETBACKS REQUIRED**

FRONT	35 FT	PROVIDED FRONT	35 FT
SIDE	10 FT MIN(25 COMBINED)	SIDE	25 FT (COMBINED)
REAR	10 FT	REAR	10 FT

TAX ID NUMBER: 47-06-26-301-034  
ZONING:I-(INDUSTRIAL)  
AREA OF DEVELOPMENT: 283,325 SQ FT (6.50 ACRE)  
BUILDING COVERAGE: 69767 SQ FT (1.60 ACRE)  
AREA OF PAVEMENT: 107,377 SQ FT (2.46 ACRE)  
TOTAL GRASS/LANDSCAPE AREA: 106,181 SQ FT ( 37.47% )  
TOTAL UNITS 57  
TOTAL PARKING PROVIDED- 123 SPOTS (INCLUDES 10 HANDICAP PARKING)

**SHEET INDEX**

- C-1 COVER SHEET
- C-2 EXISTING CONDITIONS
- C-3 PROPOSED SITE PLAN
- C-4 DIMENSION PLAN
- C-5 DETAILS SHEET
- LP-1 LANDSCAPE PLANTING PLAN
- LP-2 LANDSCAPE NOTE AND DETAILS
- PHOTOMETRIC SITE PLAN

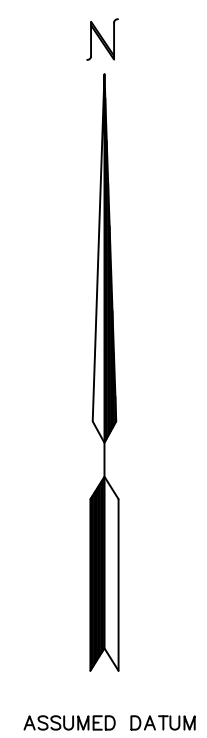
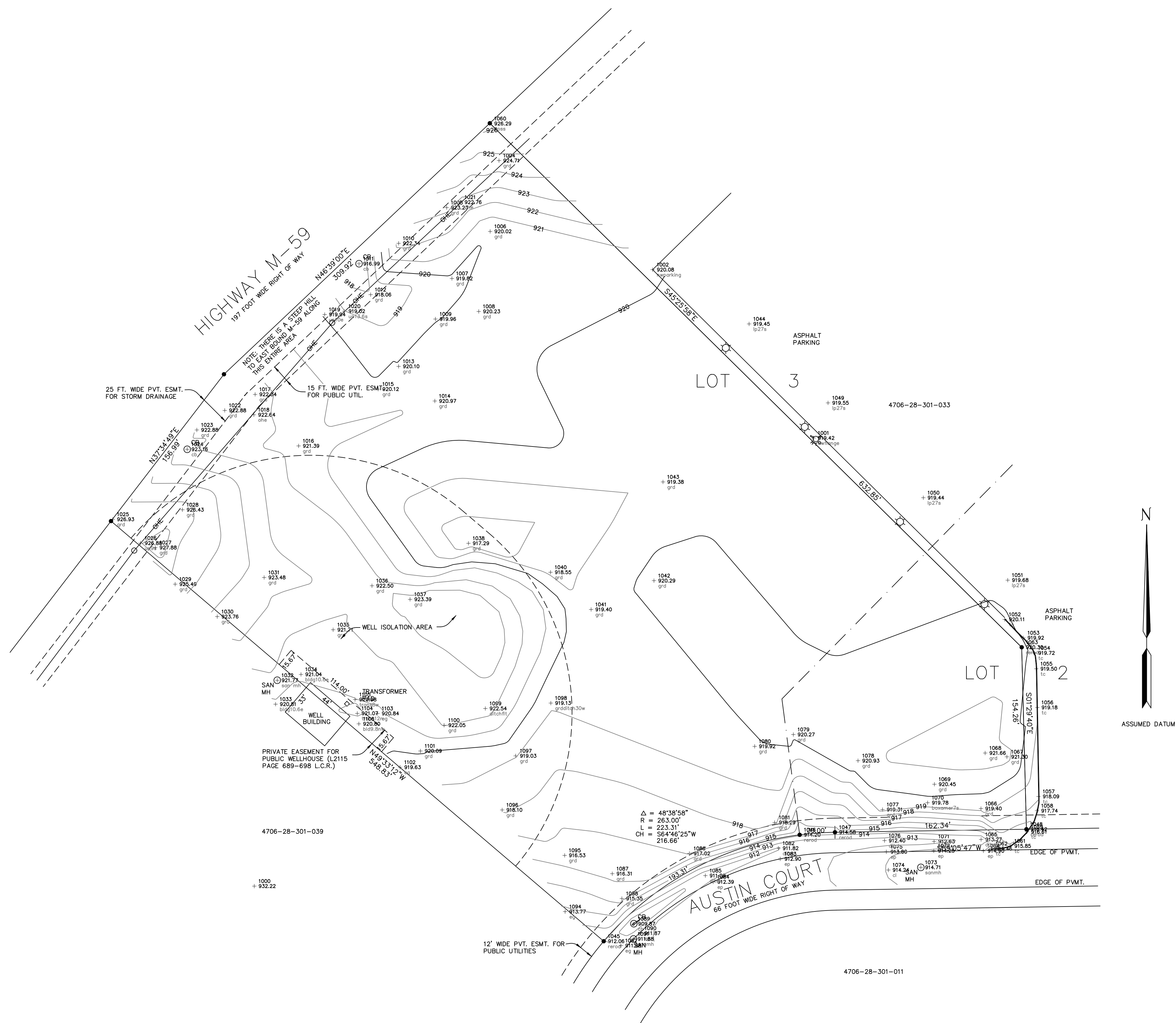
NOTE: ALL THE EXISTING UTILITIES ARE IN APPROXIMATE LOCATION. CONTRACTOR TO VERIFY PRIOR TO BEGIN THE CONSTRUCTION



DATE	ISSUE	BY	DATE	ISSUE	BY	PROJECT	FAIRWAY ENGINEERING LLC	DATE 6-20-24	CKD. BY	DATE	72 HOURS 3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 800-482-7171 ( TOLL FREE )	COVER SHEET	JOB No. 24-1013
						PROPOSED STORAGE UNIT DEVELOPMENT	LAND DEVELOPMENT - STRUCTURAL - GEOTECH 28525 BECK ROAD, SUITE 114 WIXOM, MI 48393-4743 P:(248) 214-5913						SHEET C-1
						PARCEL NO-06-26-301-034 HOWELL TOWNSHIP, MI							SHEET 1 OF 8



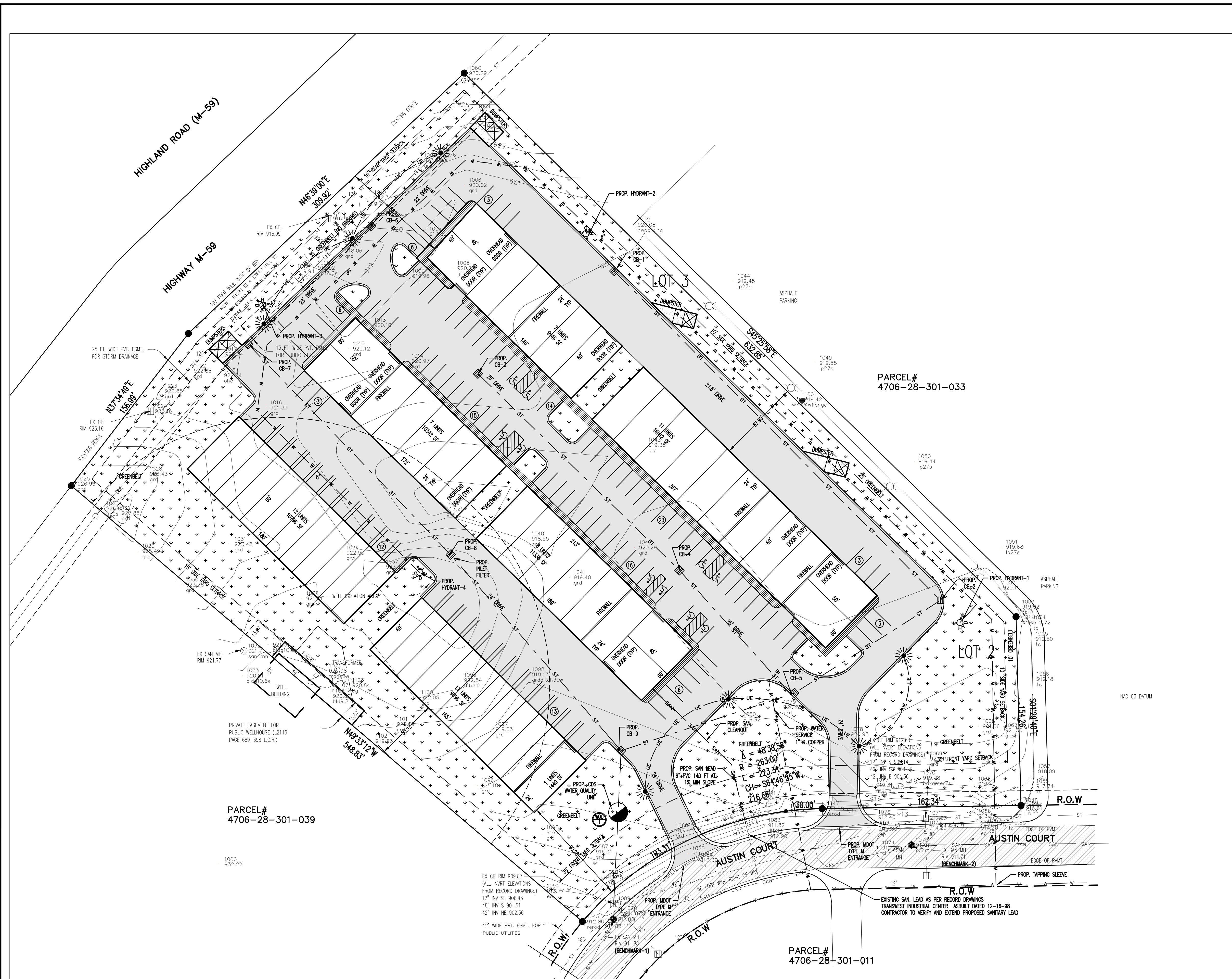
SKETCH OF TOPOGRAPHY  
PARCEL 4706-28-301-034



JACK K. SMITH  
PROFESSIONAL SURVEYOR No. 35999

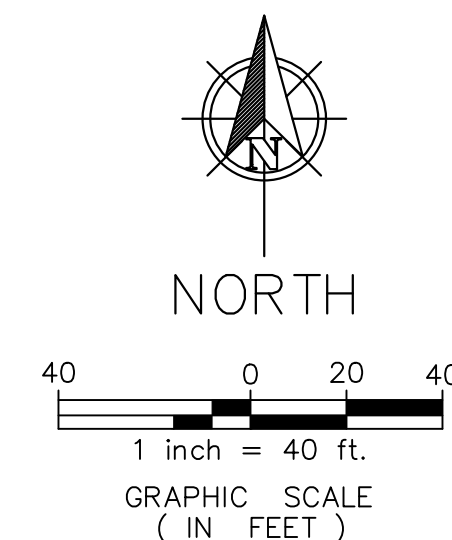
CLIENT: CORNERSTONE		SCALE: 1" = 50'	
SECTION: 28	TOWN: 3 NORTH	RANGE: 4 EAST	
HOWELL TOWNSHIP LIVINGSTON COUNTY, MICHIGAN		JACK K. SMITH PROFESSIONAL SURVEYOR No. 35999	
DATE: 12-14-2023	CREW: JKS	GARLOCK-SMITH PROFESSIONAL SURVEYORS	
BOOK NO. 22053	COMP: JKS	4655 OAK GROVE ROAD	
	DRAWN: JKS	HOWELL, MICHIGAN 48855	
SHEET 1 OF 1	REV:	(517) 546 - 3340	
		GARLOCKSMITH@COMCAST.NET	





**LEGEND**

- — — — — PROPERTY LINE
- — — — — RIGHT OF WAY
- — — — — SECTION LINE
- — — — — SETBACK LINES
- — — — — ST EXIST STORM SEWER
- — — — — SAN—O—SAN EXIST STORM SEWER STRUCTURE
- — — — — CO EXIST GRAVITY SEWER LINE
- — — — — SAN—O—SAN EXIST SANITARY SEWER MANHOLE
- — — — — W—W EXIST DOMESTIC WATER LINE
- — — — — OE EXIST HYDRANT
- — — — — OE EXIST OVERHEAD WIRES
- — — — — EXIST UTILITY POLE
- — — — — EXIST LIGHT POLE
- ▨ EXIST. HMA PAVEMENT
- ⊕ BENCH MARK
- — — — — 850 EXISTING GROUND ELEVATION
- — — — — 758 EXISTING MINOR CONTOUR
- — — — — ST PROP. STORM SEWER
- ▨ PROP. STORM SEWER STRUCTURE
- — — — — SAN—O—SAN PROP. GRAVITY SEWER LINE
- — — — — W—W PROP. DOMESTIC WATER LINE
- ⊕ PROP. HYDRANT
- ▭ PROP. BUILDING
- ▨ PROP. HMA PAVEMENT
- — — — — UE—UE—UE PROP. UNDER GROUND ELECTRIC
- ⊕ PROP. ELECTRIC LIGHT



**AVERAGE RUN-OFF CALCULATION "C"**

SITE AREA — 6.5042 ACRES  
 RUN-OFF COEFFICIENT "C" VALUES  
 0.90 — BUILDINGS  
 0.80 — PAVEMENT  
 0.20 — GRASS/LANDSCAPE  
 AVERAGE "C" VALUE CALCULATION BUILDING AREA — 1.6016+/-  
 ACRES PAVEMENT AREA — 2.4650+/-  
 ACRES GRASS/LANDSCAPE — 2.4376+/-  
 ACRES BUILDING AREA — 1.6016/6.5062 X 0.90 = 0.2216  
 PAVEMENT AREA — 2.4650/6.5062 X 0.80 = 0.303191  
 GRASS LANDSCAPE — 2.4376/6.5062 X 0.20 = 0.074953  
 AVERAGE "C" VALUE = 0.5997  
 USE "C" VALUE OF 0.60 < 0.63 FROM OLD DEVELOPMENT PLAN PER LCDC  
 NO ONSITE STORM WATER DETENTION IS REQUIRED

**BENCHMARK**

BENCH MARK-1  
 SOUTHWEST CORNER OF SITE NEAR EX.STORM CATCH BASIN  
 EX.SANITARY MANHOLE RIM: 911.88  
 BENCHMARK-2  
 SOUTH OF PROPERTY AND MIDDLE OF AUSTIN COURT  
 EX.SANITARY MANHOLE RIM: 914.71

**SITE DATA**

SETBACKS  
 REQUIRED PROVIDED  
 FRONT 35 FT FRONT 90.28 FT (MIN)  
 SIDE 10 FT MIN(25 COMBINED) SIDE 50.92 FT (MIN)  
 REAR 10 FT REAR 88.16 FT (MIN)

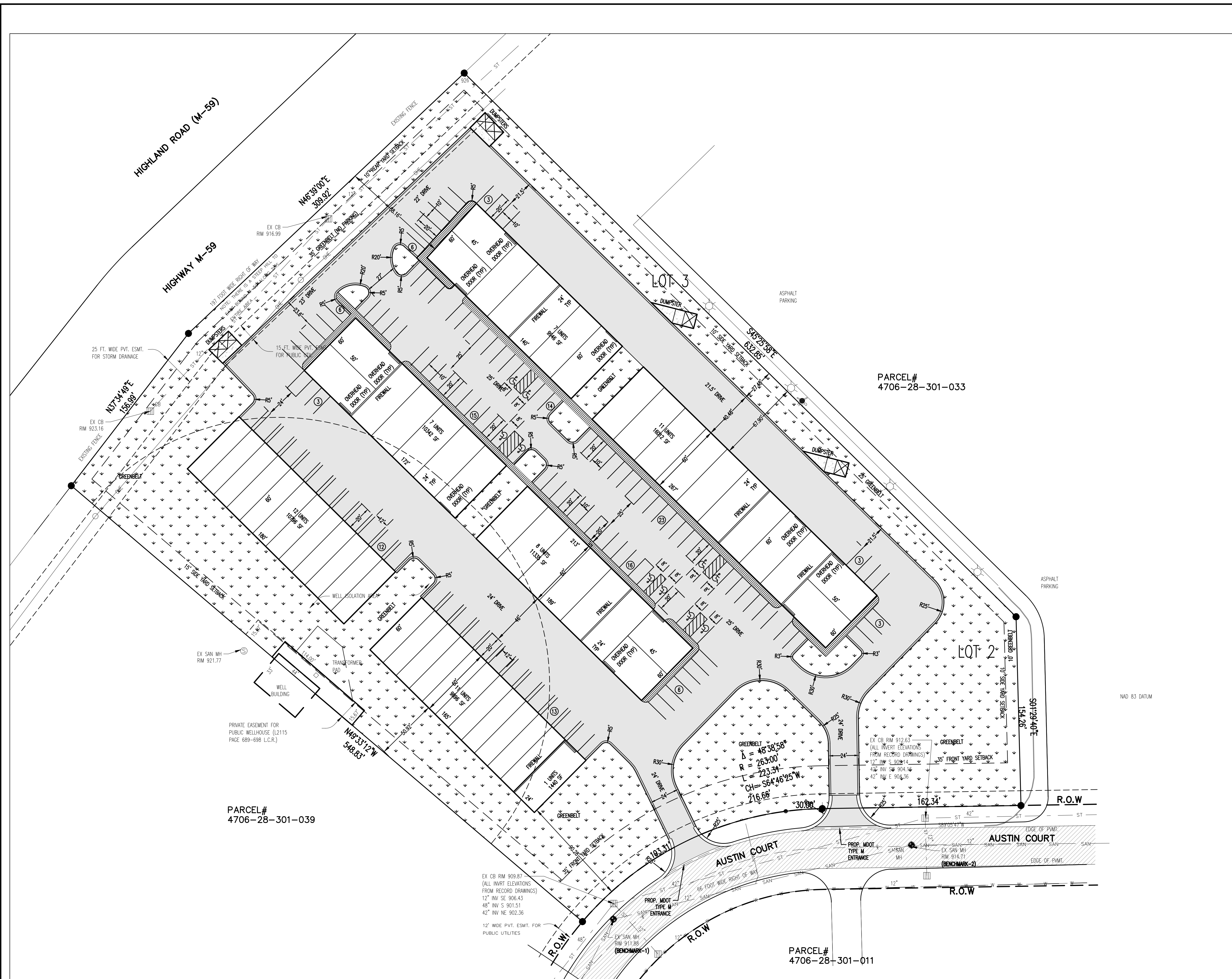
TAX ID NUMBER: 47-06-26-301-034  
 ZONING: I-(INDUSTRIAL)  
 AREA OF DEVELOPMENT: 283,325 SQ FT (6.50 ACRE)  
 BUILDING COVERAGE: 69,767 SQ FT (2.46 ACRE)  
 AREA OF PAVEMENT: 107,377 SQ FT (3.47 ACRE)  
 TOTAL GRASS/LANDSCAPE AREA: 106,181 SQ FT (32.07 ACRE)  
 TOTAL UNITS: 57  
 TOTAL PARKING PROVIDED— 123 SPOTS (INCLUDES 10 HANDICAP PARKING)

PROPOSED SITE PLAN  
 SCALE: 1"=40'

NOTE: ALL THE EXISTING UTILITIES ARE IN APPROXIMATE LOCATION.  
 CONTRACTOR TO VERIFY PRIOR TO BEGIN THE CONSTRUCTION

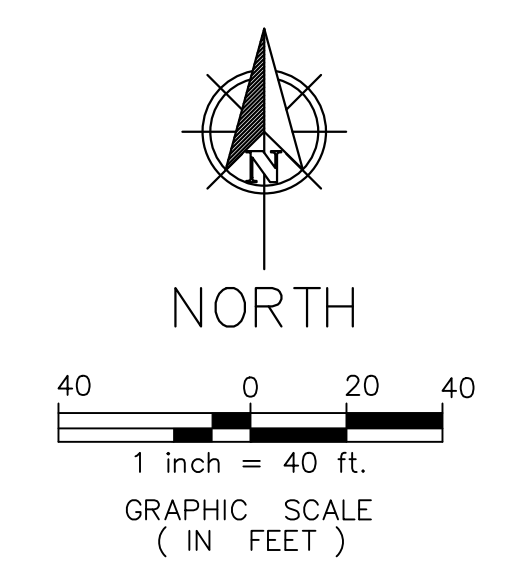
DATE	ISSUE	BY	DATE	ISSUE	BY	PROJECT	FAIRWAY ENGINEERING LLC	DATE	6-20-24	CKD. BY	DATE	72 HOURS 3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 800-482-7171 (TOLL FREE)	PROPOSED SITE PLAN	JOB No	24-1013
						PROPOSED STORAGE UNIT DEVELOPMENT	LAND DEVELOPMENT - STRUCTURAL - GEOTECH 28525 BECK ROAD, SUITE 114 WYOMING, MI 48393-4743 P.(248) 214-5913	DRAWN	AG					SHEET	C-3
						PARCEL NO-06-26-301-034 HOWELL TOWNSHIP, MI		DESIGN	MM					SHEET	3 OF 8
								SECTION	28 T- 3-N, R- 4 -E.						





**LEGEND**

- — — — — PROPERTY LINE
- - - - - RIGHT OF WAY
- - - - - SECTION LINE
- - - - - SETBACK LINES
- ST — — — — — EXIST STORM SEWER
- CO — — — — — EXIST STORM SEWER STRUCTURE
- SAN — — — — — EXIST GRAVITY SEWER LINE
- S — — — — — EXIST SANITARY SEWER MANHOLE
- W — — — — — EXIST DOMESTIC WATER LINE
- H — — — — — EXIST HYDRANT
- OE — — — — — EXIST OVERHEAD WIRES
- U — — — — — EXIST UTILITY POLE
- L — — — — — EXIST LIGHT POLE
- [Hatched Box] EXIST. HMA PAVEMENT
- [Circle with Cross] BENCH MARK
- [Dashed Line] EXISTING GROUND ELEVATION
- [Dashed Line] EXISTING MAJOR CONTOUR
- [Dashed Line] EXISTING MINOR CONTOUR
- ST — — — — — PROP. STORM SEWER
- CO — — — — — PROP STORM SEWER STRUCTURE
- SAN — — — — — PROP. GRAVITY SEWER LINE
- W — — — — — PROP. DOMESTIC WATER LINE
- H — — — — — PROP. HYDRANT
- [Rectangular Box] PROP. BUILDING
- [Hatched Box] PROP. HMA PAVEMENT
- UE — — — — — PROP. UNDER GROUND ELECTRIC
- [Star Symbol] PROP. ELECTRIC LIGHT



**BENCHMARK**

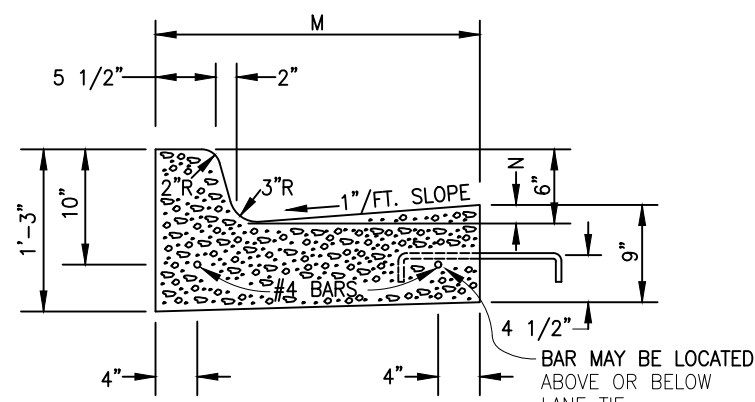
BENCH MARK-1  
SOUTHWEST CORNER OF SITE NEAR EX.STORM CATCH BASIN  
EX.SANITARY MANHOLE RIM: 911.88

BENCHMARK-2  
SOUTH OF PROPERTY AND MIDDLE OF AUSTIN COURT  
EX.SANITARY MANHOLE RIM: 914.71

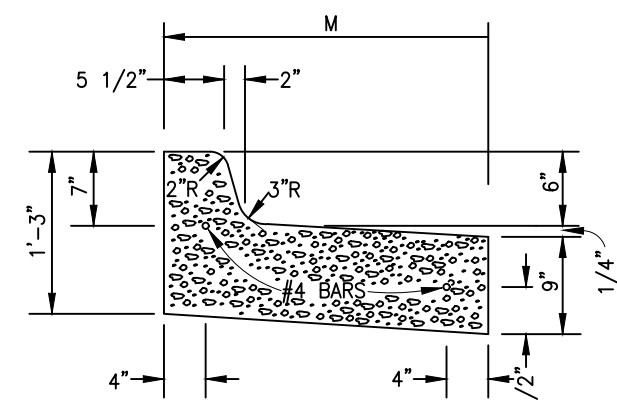
DIMENSION PLAN  
SCALE: 1"=40'

NOTE: ALL THE EXISTING UTILITIES ARE IN APPROXIMATE LOCATION.  
CONTRACTOR TO VERIFY PRIOR TO BEGIN THE CONSTRUCTION

DATE	ISSUE	BY	DATE	ISSUE	BY	PROJECT PROPOSED STORAGE UNIT DEVELOPMENT	FAIRWAY ENGINEERING LLC LAND DEVELOPMENT - STRUCTURAL - GEOTECH 28525 BECK ROAD, SUITE 114 WYOM, MI 48393-4743 P:(248) 214-5913	DATE 6-20-24	CKD. BY	DATE		DIMENSION PLAN	JOB No. 24-1013
						PARCEL NO-06-26-301-034 HOWELL TOWNSHIP, MI	DRAWN AG					SHEET C-4	SHEET 4 OF 8
							DESIGN MM						

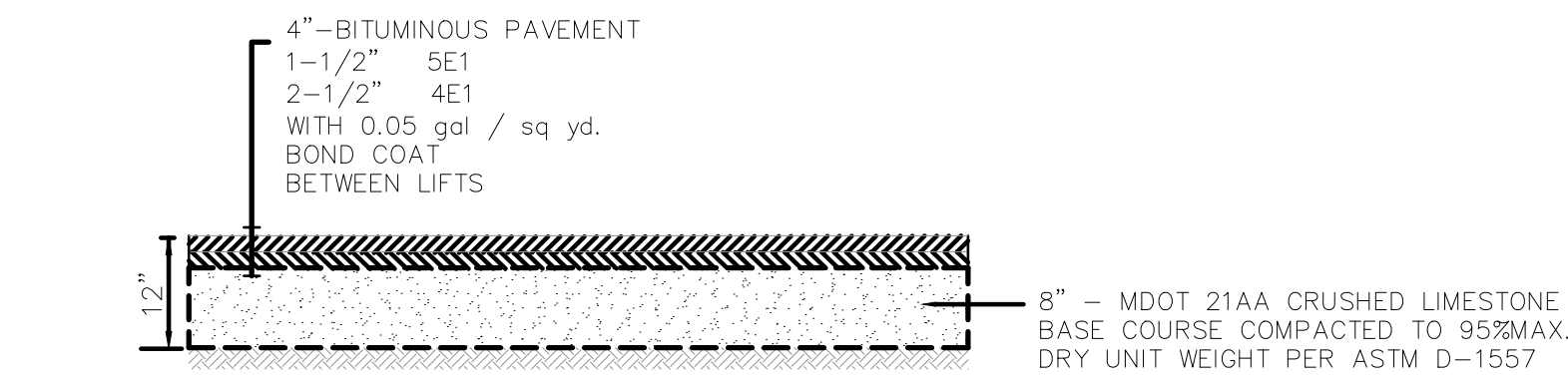


**CONCRETE CURB & GUTTER TYPE C**  
(REF. MDOT DETAIL II-300) (NO SCALE)

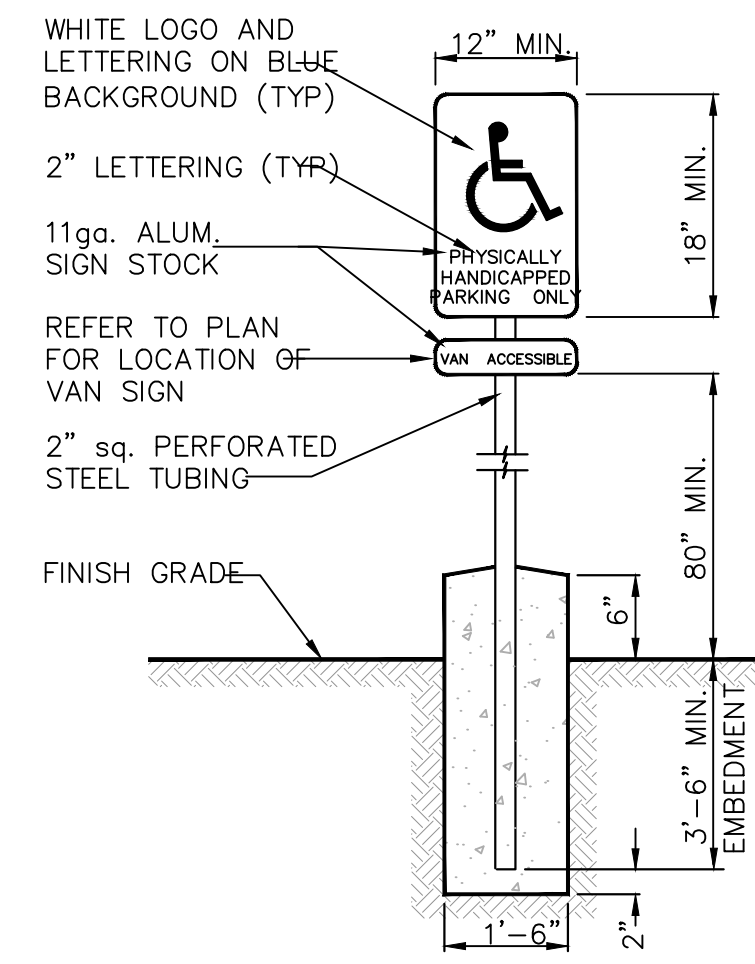


**MODIFIED TYPE C CURB**  
(REF. MDOT DETAIL II-300) (NO SCALE)

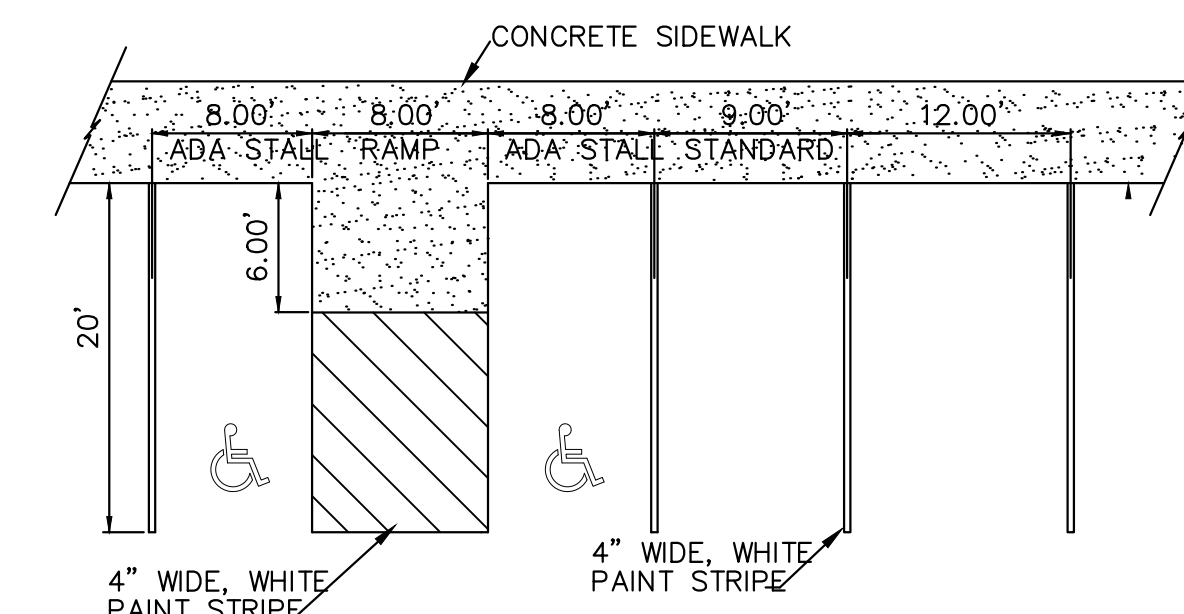
**6" CURB AT ISLANDS AND OTHER THAN OVERHANG PARKING SPACES**  
NTS



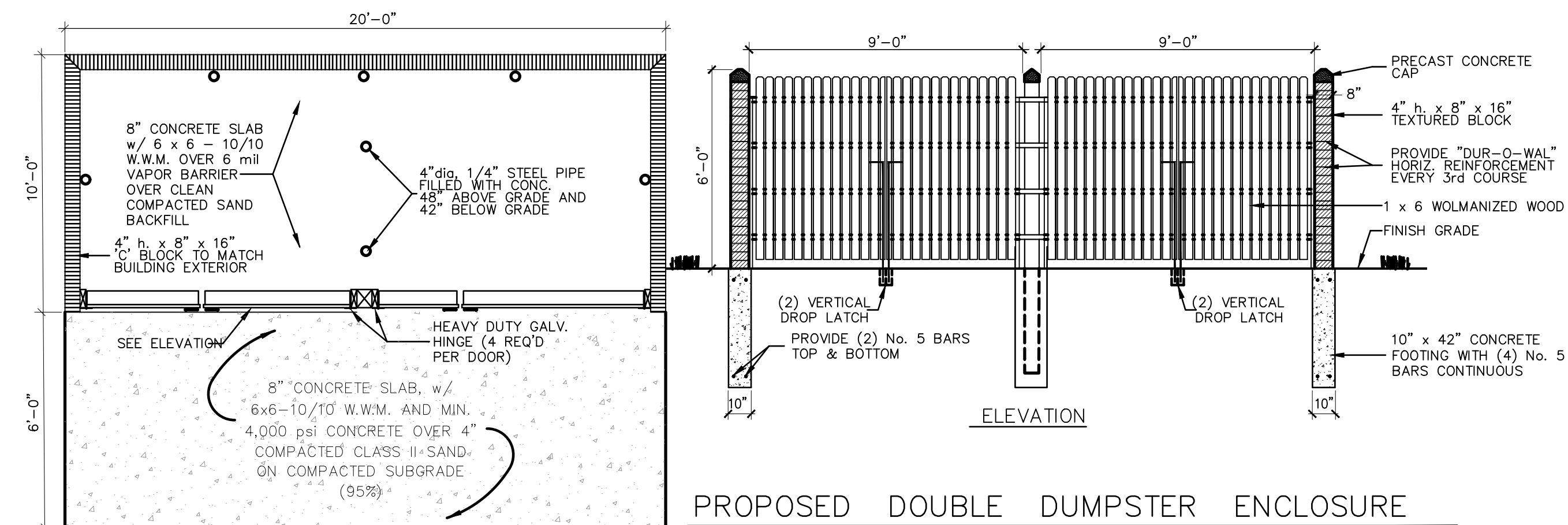
**PROPOSED ASPHALT PAVEMENT SECTION**  
NTS



**DISABLED PARKING SIGN DETAIL**  
NTS

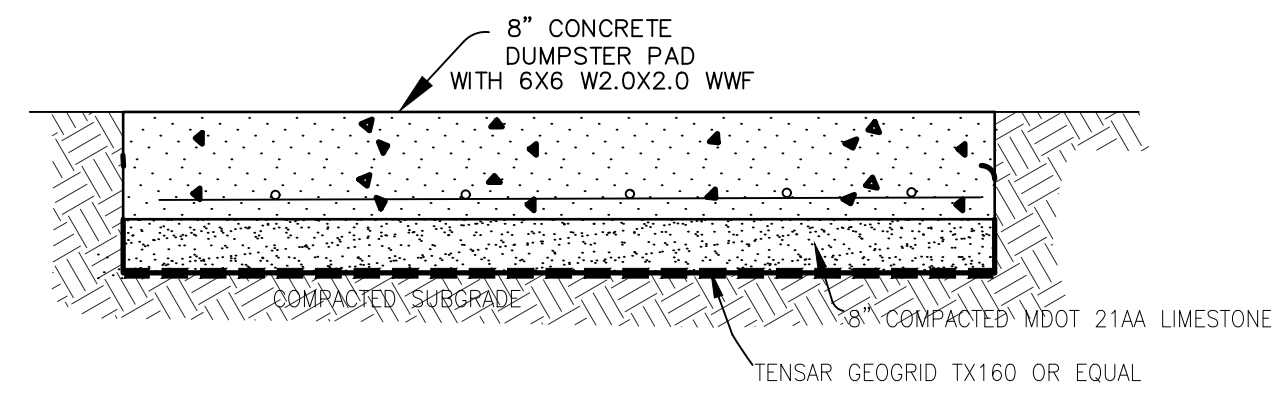


**TYPICAL PARKING STALL DIMENSIONS**  
NOT TO SCALE

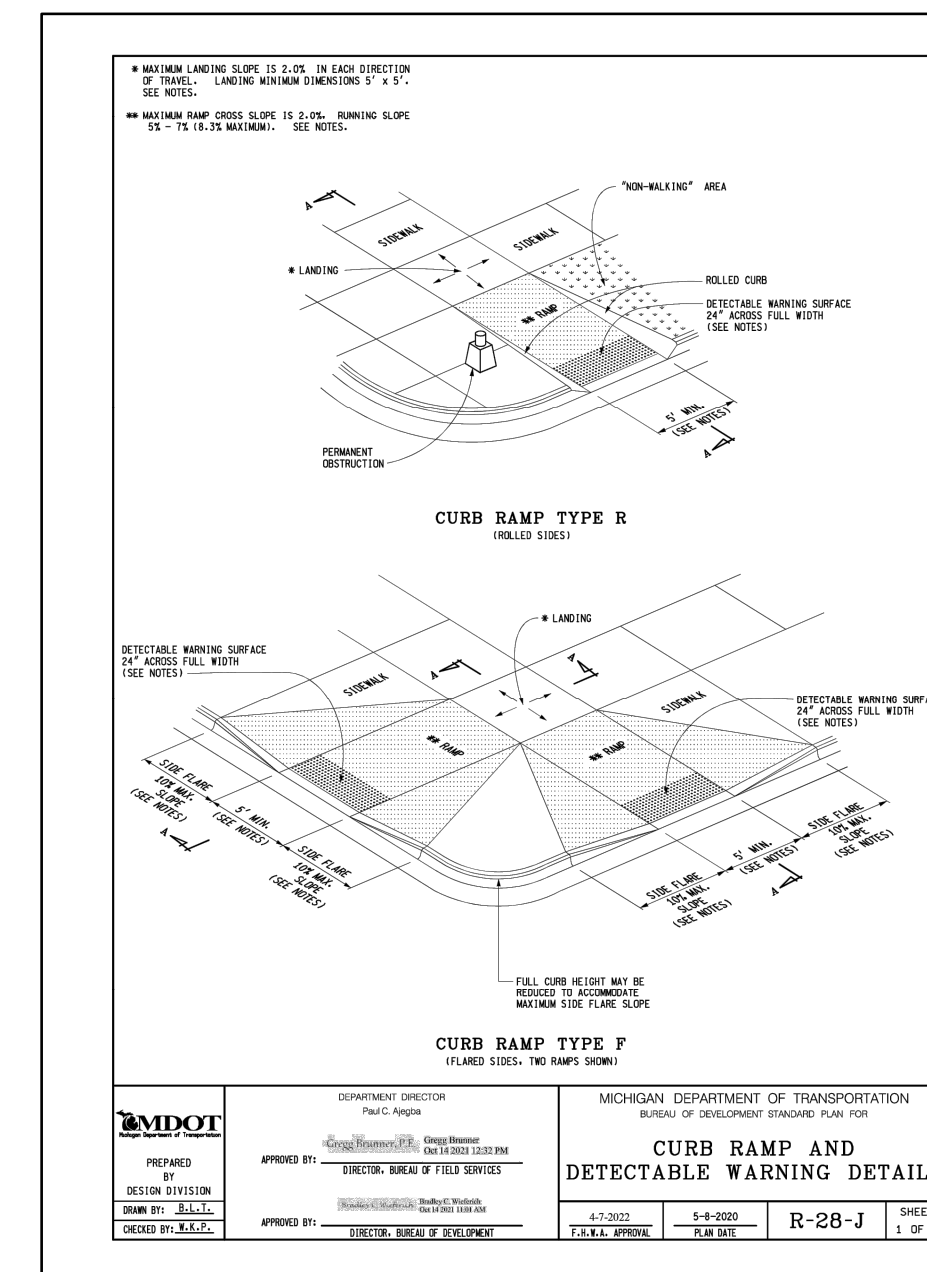


**PROPOSED DOUBLE DUMPSTER ENCLOSURE**  
NTS

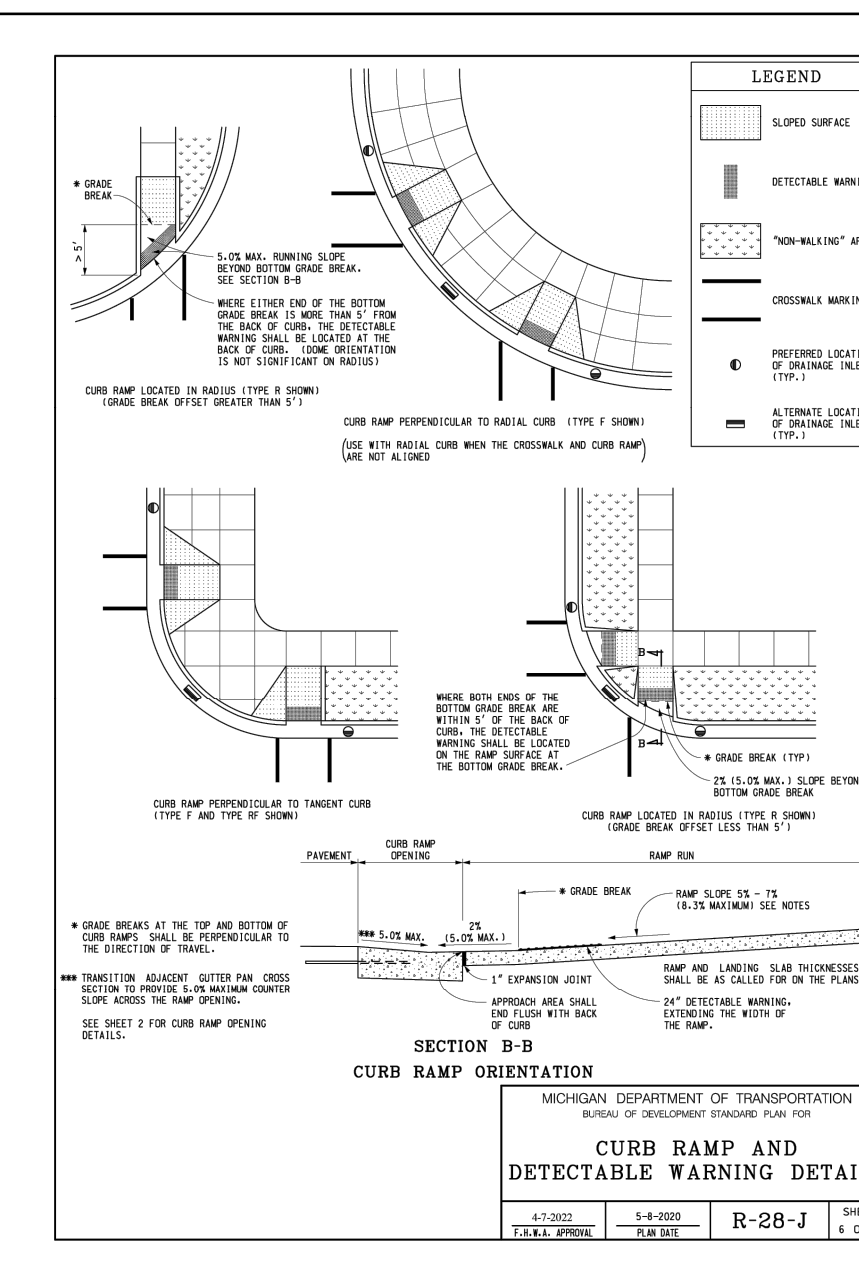
**DUMPSTER DETAIL**



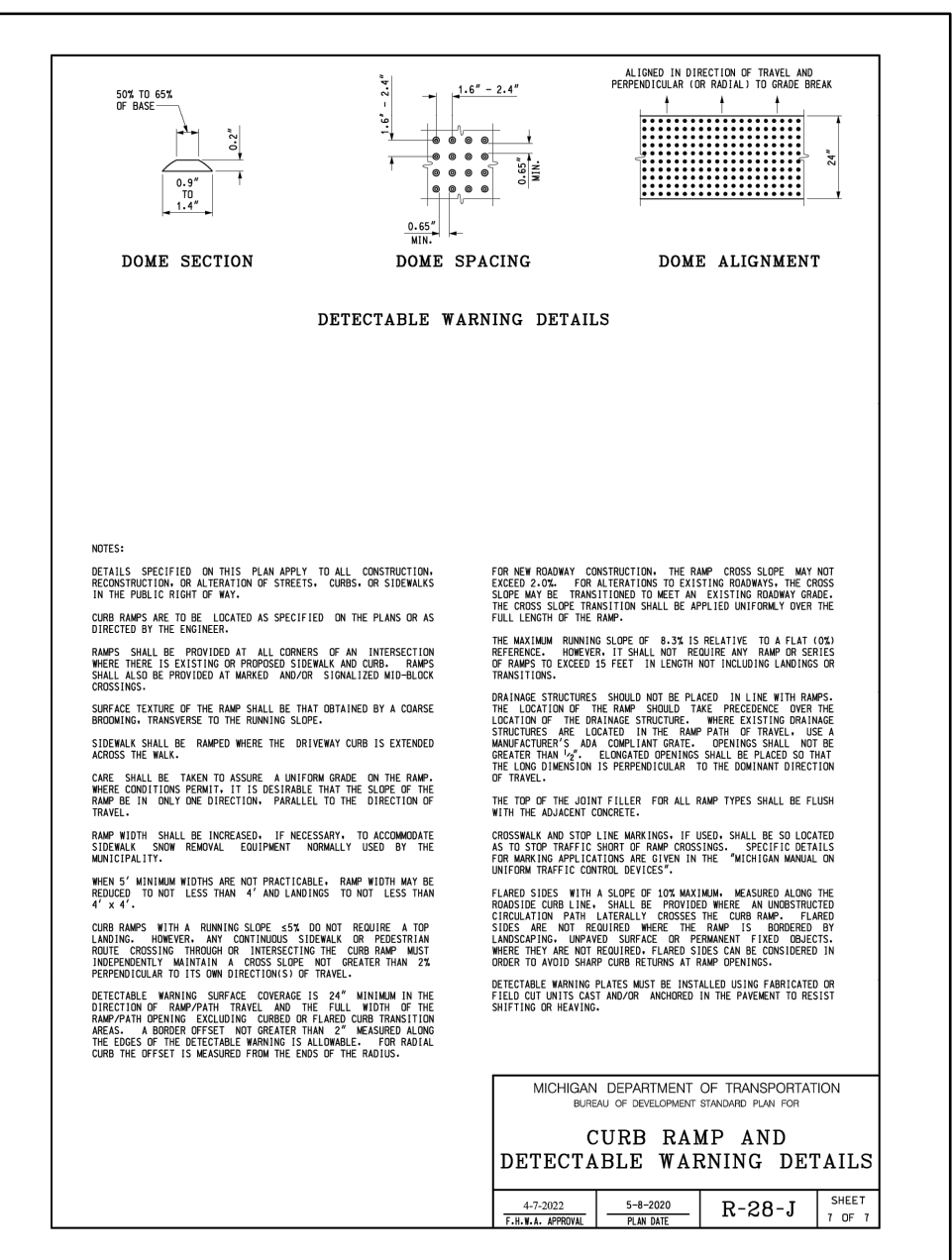
**8" THICK CONCRETE DUMPSTER PAD DETAIL**  
NOT TO SCALE



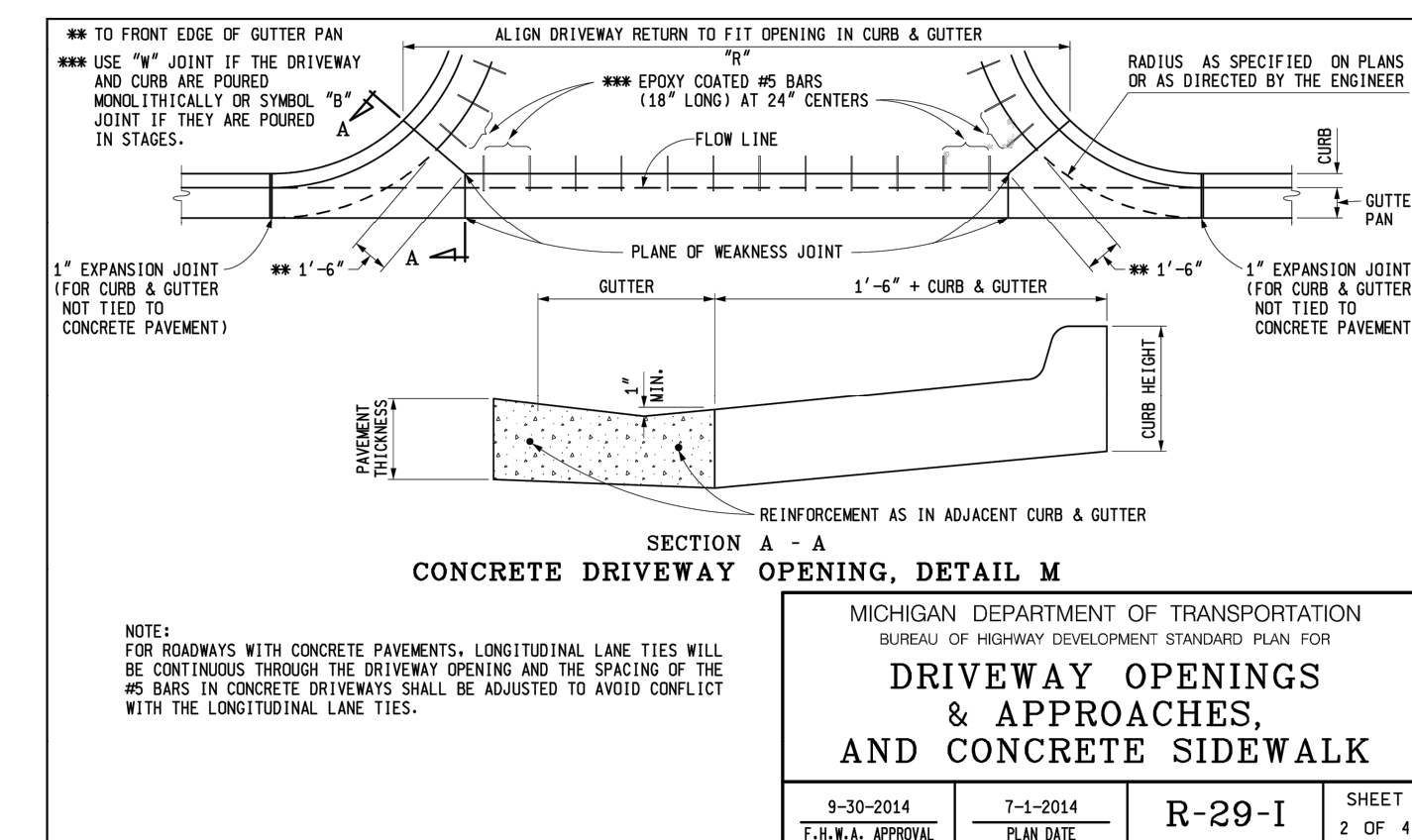
**CURB RAMP AND DETECTABLE WARNING DETAILS**  
MICHIGAN DEPARTMENT OF TRANSPORTATION  
BUREAU OF HIGHWAY DEVELOPMENT  
R-28-J SHEET 1 OF 1



**CURB RAMP AND DETECTABLE WARNING DETAILS**  
MICHIGAN DEPARTMENT OF TRANSPORTATION  
BUREAU OF HIGHWAY DEVELOPMENT  
R-28-J SHEET 2 OF 1



**DETECTABLE WARNING DETAILS**  
MICHIGAN DEPARTMENT OF TRANSPORTATION  
BUREAU OF HIGHWAY DEVELOPMENT  
R-28-J SHEET 3 OF 1



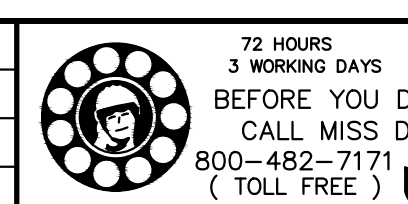
**CONCRETE DRIVEWAY OPENING, DETAIL M**  
MICHIGAN DEPARTMENT OF TRANSPORTATION  
BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR  
**DRIVEWAY OPENINGS & APPROACHES, AND CONCRETE SIDEWALK**  
9-30-2014 7-1-2014  
T.K.K.L. APPROVAL PLAN DATE R-29-I SHEET 2 OF 4

DATE	ISSUE	BY	DATE	ISSUE	BY

PROJECT  
**PROPOSED STORAGE UNIT DEVELOPMENT**  
PARCEL NO-06-26-301-034  
HOWELL TOWNSHIP, MI

**FAIRWAY ENGINEERING LLC**  
LAND DEVELOPMENT - STRUCTURAL - GEOTECH  
28525 BECK ROAD, SUITE 114 WYOMI, MI 48393-4743  
P:(248) 214-5913

DATE 6-20-24 CKD. BY DATE  
DRAWN AG  
DESIGN MM  
SECTION 28 T-3-N, R-4-E.

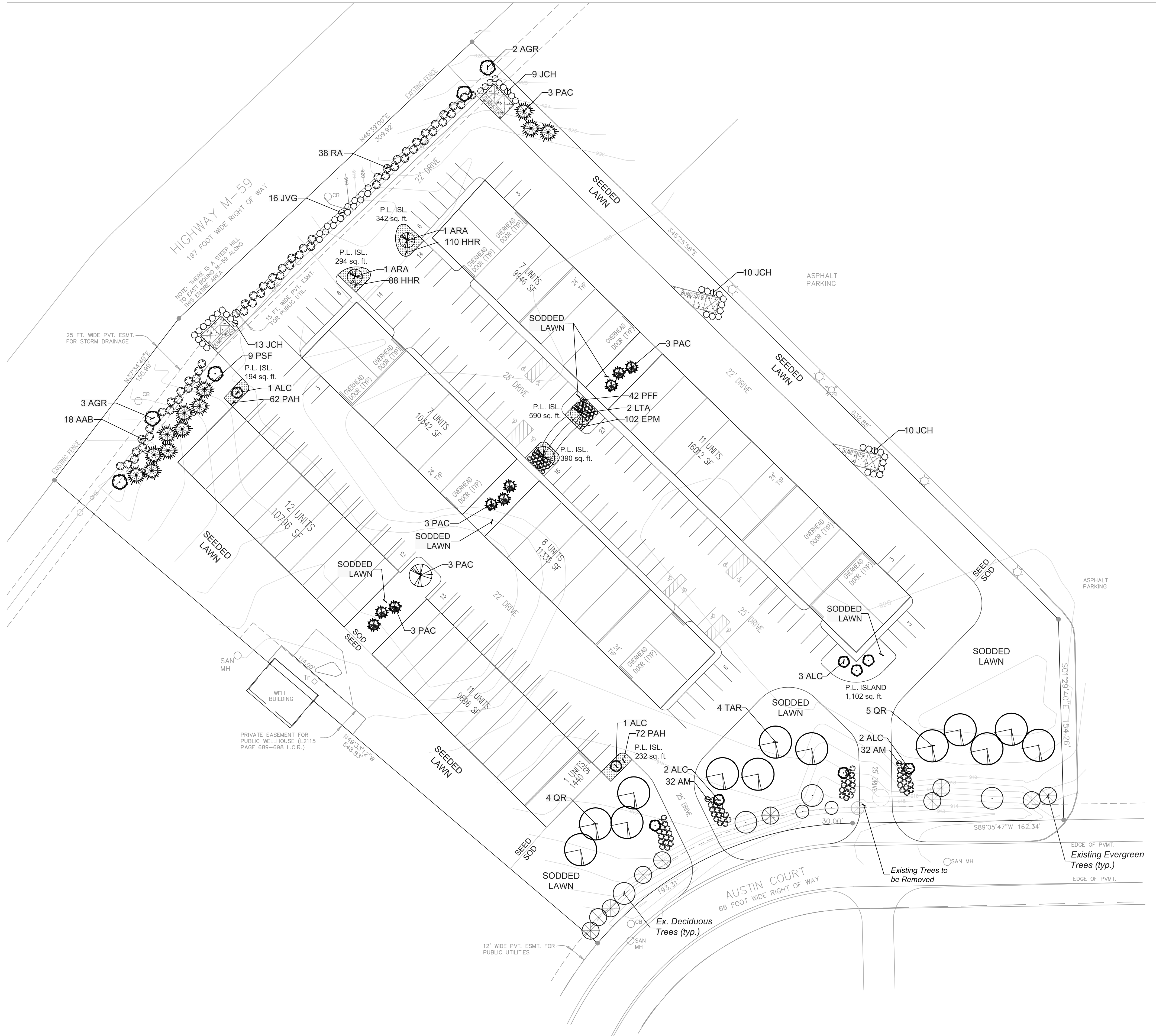


72 HOURS  
3 WORKING DAYS  
BEFORE YOU DIG  
CALL MISS DIG  
800-452-7171  
(TOLL FREE)

DETAILS SHEET

JOB No. 24-1013  
SHEET C-5  
SHEET 5 OF 8





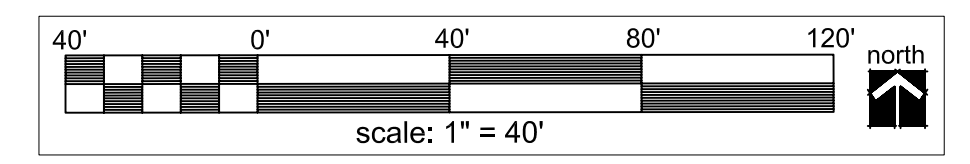
**PLANT LIST**

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
<b>LANDSCAPING ADJACENT TO ROADS (Austin Court)</b>				
ALC	4	<i>Amelanchier laevis</i> 'Cumulus'	Cumulus Allegheny Serviceberry	2-1/2" cal. B&B
AM	64	<i>Aronia melanocarpa</i> 'Iroquois Beauty'	Iroquois Beauty Black Chokeberry	24" ht., 3 gal. pot
<b>LANDSCAPING ADJACENT TO ROADS (Highway M-59)</b>				
AAB	18	<i>Aronia arbutifolia</i> 'Hummingbird'	Hummingbird Red Chokeberry	24" ht., 3 gal. pot
JCH	22	<i>Juniperus chinensis</i> 'Hetz Columnaris'	Hetz Columnaris Upright Juniper	4' ht. B&B
JVG	16	<i>Juniperus virginiana</i> 'Grey Owl'	Grey Owl Spreading Juniper	24" spr., 3 gal. pot
PAC	3	<i>Picea abies</i> 'Cupressina'	Cupressina Norway Spruce	6' ht. B&B
PSF	9	<i>Pinus strobus</i> 'Fastigiata'	Fastigate Eastern White Pine	6' ht. B&B
RA	38	<i>Rhus aromatica</i>	Fragrant Sumac	30" ht., 5 gal. pot
<b>GENERAL SITE PLANTING</b>				
JCH	20	<i>Juniperus chinensis</i> 'Hetz Columnaris'	Hetz Columnaris Upright Juniper	4' ht. B&B
QR	9	<i>Quercus rubra</i>	Red Oak	2-1/2" cal. B&B
PAC	9	<i>Picea abies</i> 'Cupressina'	Cupressina Norway Spruce	6' ht. B&B
TAR	4	<i>Tilia americana</i> 'Redmond'	Redmond American Linden	2-1/2" cal. B&B
<b>PARKING LOT LANDSCAPING</b>				
ALC	5	<i>Amelanchier laevis</i> 'Cumulus'	Cumulus Serviceberry	2" cal. B&B
ARA	2	<i>Acer rubrum</i> 'Armstrong Gold'	Armstrong Gold Red Maple	2-1/2" cal. B&B
LTA	3	<i>Liriodendron tulipifera</i> 'Arnold'	Arnold Tuliptree	2-1/2" cal. B&B
PFF	42	<i>Potentilla fruticosa</i> 'Fargo'	Dakota Sunspot Potentilla	24" ht., 3 gal. pot
EPM	102	<i>Echinacea purpureum</i> 'Magnus'	Magnus Purple Coneflower	1 gal. pot, 30" o.c.
HHR	198	<i>Hemerocallis</i> sp. 'Happy Returns'	Happy Returns Daylily	1 gal. pot, 30" o.c.
PAH	134	<i>Pennisetum alopecuroides</i> 'Hameln'	Hameln Fountain Grass	1 gal. pot, 30" o.c.

**LANDSCAPE CALCULATIONS:**

**LANDSCAPING ADJACENT TO ROADS**  
 Austin Court (305.65 l.f.)  
 \* One (1) deciduous shade or evergreen tree / 40 l.f. = 7.64 trees = 6 trees  
 \* One (1) ornamental tree / 100 l.f. = 3.06 trees = 4 trees  
 \* Eight (8) shrubs / 40 l.f. = 61.13 trees = 62 trees  
 Highway M-59 (466.91 l.f.)  
 \* One (1) deciduous shade or evergreen tree / 40 l.f. = 11.67 trees = 12 trees  
 \* One (1) ornamental tree / 100 l.f. = 4.67 trees = 5 trees  
 \* Eight (8) shrubs / 40 l.f. = 93.38 shrubs = 94 shrubs  
**GENERAL SITE LANDSCAPING (65,814 square feet)**  
 \* A mixture of evergreen and deciduous trees shall be planted at the rate of one (1) tree per 3,000 square feet or portion thereof of any unpaved open space area for which other landscape requirements do not apply  
 \* 65,814 sq. ft. of open space at one (1) tree per 3,000 sq. ft. equals 22 trees  
**PARKING LOT PLANTING (119 parking spaces)**  
 \* Twenty-five square feet (25 sq. ft.) of interior parking lot landscaping per parking space  
 \* 119 parking spaces times 25 square feet equals 2,975 square feet of interior parking lot landscaping  
 \* Interior parking lot landscaping provided equals 3,144 square feet

**NOTE:**  
 \* See Sheet LP - 2: LANDSCAPE NOTES & DETAILS for landscape development notes, landscape planting details, and landscape construction details.



date: June 18, 2024  
 revised:



**LANDSCAPE PLAN FOR:**  
 Fairway Engineering, L.L.C.  
 28525 Beck Road, Suite 124  
 Wixom, Michigan 48393  
 (248) 938-4902

**PROJECT LOCATION:**  
 Industrial Building  
 Austin Court  
 Howell Township,  
 Michigan

**LANDSCAPE PLAN BY:**  
 Nagy Devlin Land Design  
 31736 West Chicago Ave.  
 Livonia, Michigan 48150  
 (734) 634-9208



**LANDSCAPE PLANTING PLAN**

scale: 1" = 40"

**LP - 1: LANDSCAPE PLANTING PLAN**

\* Base data provided by Fairway Engineering, L.L.C.



**LANDSCAPE DEVELOPMENT NOTES:**

**PLANTING**

- Installation of all plant material shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock* and with the specifications set forth by Howell Township, Michigan.
- The plant materials shall conform to the type stated on the plant list. Sizes shall be the minimum stated on the plant list or larger. All measurements shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock*.
- The plant material shall be nursery grown and inspected by the Owner's representative before planting. The Owner's representative reserves the right to reject any plant material at any time.
- Plants designated "B&B" shall be balled and burlapped with firm balls of earth.
- Dig shrub pits one foot (1') larger than the shrub rootball, tree pits three (3) times the width of the tree rootball and backfill with one (1) part topsoil and one (1) part soil from excavated pit. Plant trees and shrubs at the same grade level at which they were planted at the nursery. If wet, clay soils are evident, plant trees and shrubs slightly higher.
- The Contractor is responsible for planting the materials at the correct grades and spacing. The plants shall be oriented to give the best appearance.
- When the plant has been properly set, the pit shall be backfilled with the topsoil mixture, gradually filling, patting, and settling with water.
- Trees in lawn areas to have a four foot (4') circle of mulch, four inches (4") deep, and three inches (3") away from the trunk. Shrub beds are to be mulched with shredded bark mulch to a minimum depth of four inches (4"). Only natural color shredded hardwood bark mulch will be accepted.
- Remove all twine, wire, and burlap from the top one third (1/3) of tree and shrub root balls and from tree trunks. Remove all non-biodegradable material such as plastic or nylon completely from branches and stems.
- All plant materials shall be pruned and injuries repaired. The amount of pruning shall be limited to the removal of dead or injured limbs and to compensate for the loss of roots from transplanting. Cuts should be flush, leaving no stubs. Do not apply tree paint to freshly cut wounds. Shrubs between the retaining walls shall be allowed to grow together in a natural form.
- Organic, friable topsoil shall be evenly distributed and fine graded over all areas to receive lawns at uniform depth of four inches (4") after settlement.
- All lawn areas shall be sodded with a Grade A Kentucky Blue Grass blend over the topsoil.
- All plantings shall be completed within three (3) months, and no later than November 30, from the date of issuance of a certificate of occupancy if such certificate is issued during the April 1 thru September 30 period; if the certificate is issued during the October 1 thru March 31 period, the planting shall be completed no later than the ensuing May 31; plantings shall thereafter be reasonably maintained, including permanence and health of plant materials to provide a screen to abutting properties and including the absence of weeds and refuse.
- Plant trees and shrubs no closer than the following minimum distances from sidewalks, curbs, and parking stalls:
 

a. Shade/Canopy Trees	Three feet (3')
b. Ornamental/Flowering Trees	Five feet (5')
c. Evergreen Trees	Five feet (5')
d. Evergreen/Flowering Shrubs	Four feet (4')
- Backfill directly behind all curbs and along sidewalks and compact to the top of curbs or walk to support vehicle and pedestrian weight without settling.
- All landscape areas, especially parking lot islands and landscape beds next to buildings shall be excavated of all building materials and poor soils to a depth of twelve inches to eighteen inches (12"-18") and backfilled with good, medium-textured planting soil (loam or light yellow clay loam). Add four inches to six inches (4"-6") of topsoil over the fill material and crown a minimum of six inches (6") above the top of curbs and/or walks after earth settling unless otherwise noted on the landscape plan.
- Conversion of all asphalt and gravel areas to landscape planting beds shall be done in the following manner:
  - Remove all asphalt, gravel, and compacted earth to a depth of six inches to eighteen inches (6"-18") depending on the depth of the sub base and dispose of off site;
  - Call the Township for an inspection prior to backfilling;
  - Replace excavated material with good, medium-textured planting soil (loam or light yellow clay loam) to a minimum of two inches (2") above the top of the curb and sidewalk, add four inches to six inches (4"-6") of topsoil and crown to a minimum of six inches (6") above the adjacent curb and walk after earth settling, unless otherwise noted on the landscape plan.
 If conversion from asphalt to landscape occurs in or between an existing landscape area(s), replace excavated material from four inches to six inches (4"-6") below adjacent existing grade with good, medium-textured planting soil (loam or light yellow clay loam) and add four inches to six inches (4"-6") of topsoil to meet existing grades after earth settling.
- Edging shall consist of metal aluminum edging, spaded edge, or approved equivalent.

**MATERIAL**

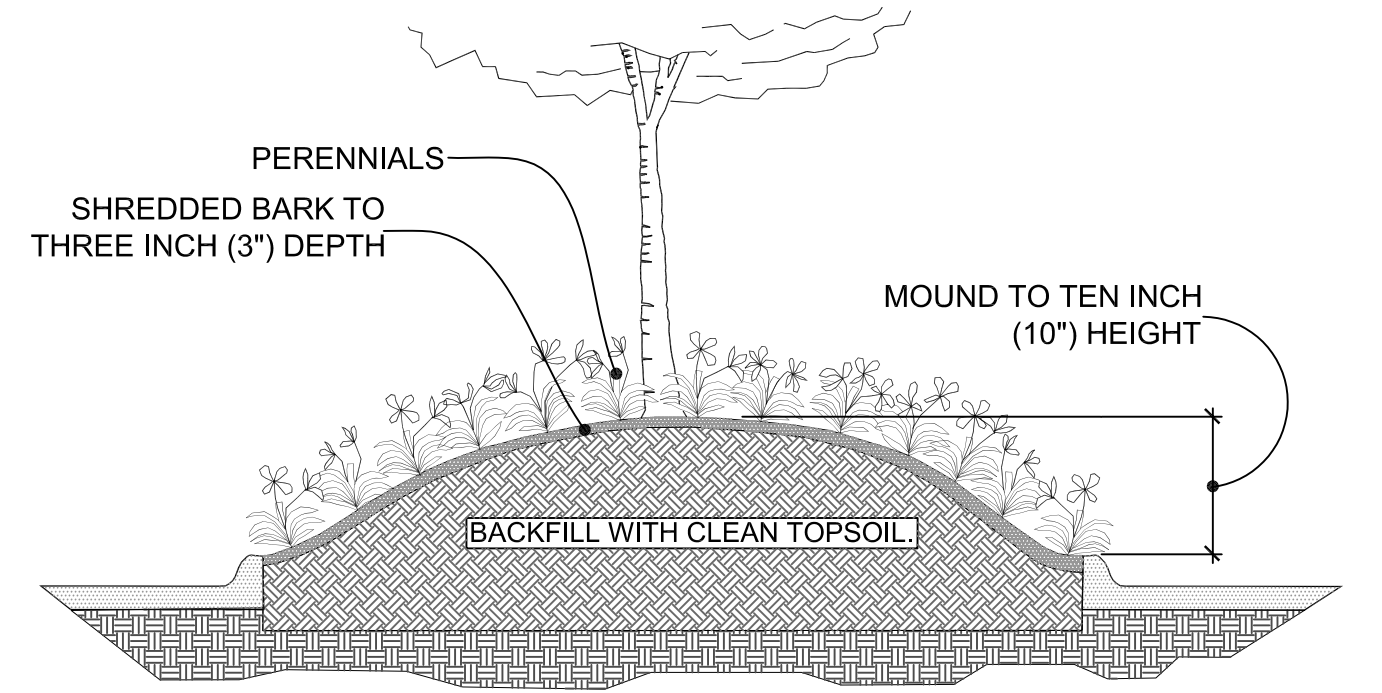
- Required landscape material shall satisfy the criteria of the American Association of Nurserymen Standards for Nursery Stock and be:
  - Nursery grown;
  - State Department of Agriculture inspected;
  - No. 1 grade material with a straight, unscarred trunk, and well-developed uniform crown (park grade trees will not be accepted);
  - Staked, wrapped, watered, and mulched according to the details provided; and
  - Guaranteed for one (1) year.
- Topsoil shall be friable, fertile soil of clayloam character containing at least five percent (5%) but not more than twenty percent (20%) by weight of organic matter with a pH range between 6.0 and 7.0. The topsoil shall be free from clay lumps, coarse sand, plant roots, sticks, and other foreign materials.
- The seed mixture shall consist of the following types and proportions: Kentucky Blue Grass blend "Baron/Victa/Merit/Gnome" @ fifty percent (50%), Cheating Fescue @ twenty-five percent (25%), Creeping Red Fescue @ ten percent (10%), and Perennial Rye Grass @ fifteen percent (15%). Weed content shall not exceed one percent (1%). The mix shall be applied at a rate of 200 pounds per acre.
- Sod shall be two (2) year old "Baron/Victa/Merit/Gnome" Kentucky Blue Grass blend grown in a sod nursery on loam soil.
- Cobblestone mulch shall consist of cobbles between two inches to four inches (2"-4") in diameter six inches (6") deep with geotextile fabric beneath.
- Callery Pear (*Pyrus calleryana*) and Norway Maple (*Acer platanoides*) shall not be substituted for any tree species in the plant list. Contact the Landscape Architect for acceptable plant substitutions.

**GENERAL**

- Do not plant deciduous or evergreen trees directly over utility lines or under overhead wires. Maintain a six foot (6') distance from the centerline of utilities and twenty feet (20') from the centerline of overhead wires for planting holes. Call MISS DIG forty-eight (48) hours prior to landscape construction for field location of utility lines.
- The Contractor agrees to guarantee all plant material for a period of one (1) year. At that time, the Owner's representative reserves the right for a final inspection. Plant material with twenty-five percent (25%) die back, as determined by the Owner's representative shall be replaced. This guarantee includes the furnishing of new plants, labor, and materials. These new plants shall also be guaranteed for a period of one (1) year.
- The work shall consist of providing all necessary materials, labor, equipment, tools, and supervision required for the completion as indicated on the drawings.
- All landscape areas including landscape berms, boulevard medians, and cul-de-sac islands shall be irrigated by an automatic underground irrigation system. Lawns and shrub/landscape areas shall be watered by separate zones to minimize overwatering. Provide a battery timer for irrigation systems in cul-de-sac islands.
- All written dimensions override scale dimensions on the plans.
- Report all changes, substitutions, or deletions to the Owner's representative.
- All bidders must inspect the site and report any discrepancies to the Owner's representative.
- All specifications are subject to change due to existing conditions.
- The Owner's representative reserves the right to approve all plant material.
- All ground mounted mechanical units shall be screened on three (3) sides with living plant material.

**MAINTENANCE OF GENERAL LANDSCAPE AREAS**

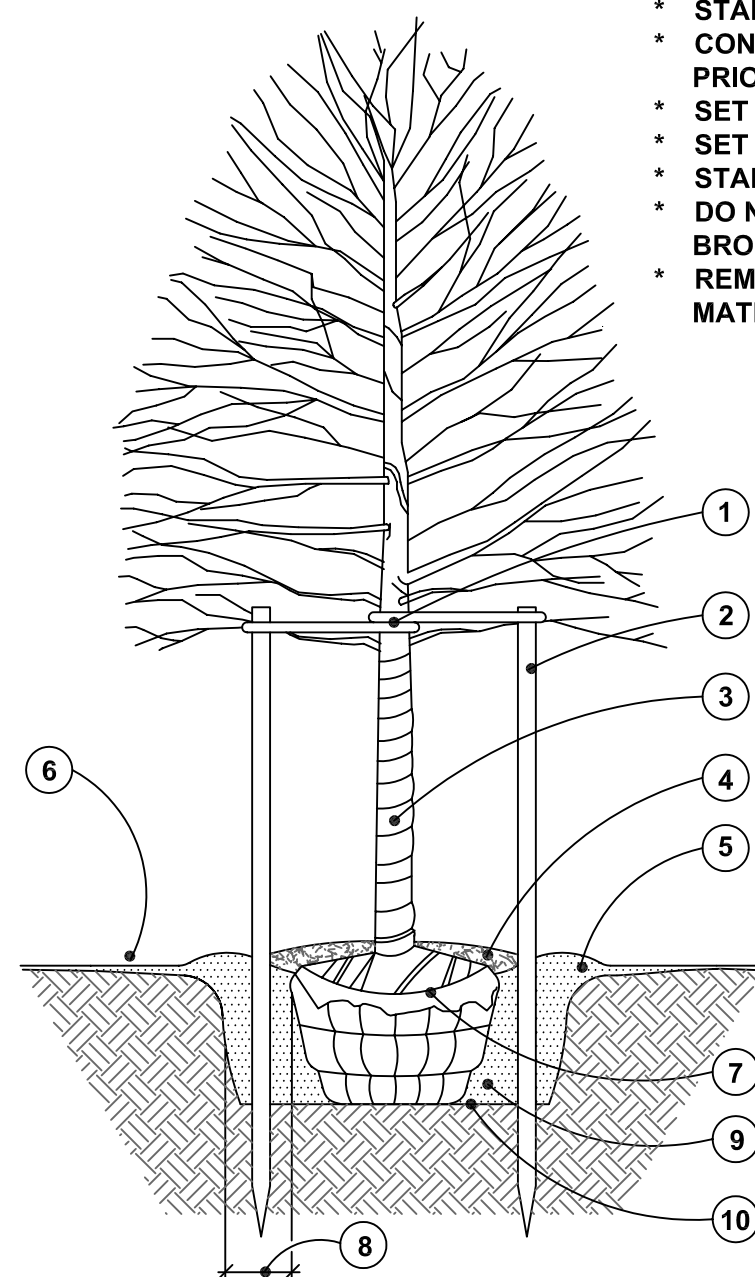
- The Owner of the landscaping shall perpetually maintain such landscaping in good condition so as to present a healthy, neat, and orderly appearance, free from refuse and debris.
- The Owner shall conduct a seasonal landscape maintenance program including regular lawn cutting (at least once per week during the growing season), pruning at appropriate times, watering, and snow removal during winter.
- The Contractor is responsible for watering and maintenance of all seed areas until a minimum of ninety percent (90%) coverage, as determined by the Owner's representative.
- All diseased and/or dead material shall be removed within sixty (60) days following notification and shall be replaced within the next appropriate planting season or within one (1) year, whichever comes first.
- Any debris such as lawn clippings, fallen leaves, fallen limbs, and litter shall be removed from the site on a weekly basis at the appropriate season.
- All planting beds shall be maintained by removing weeds, fertilizing, and replenishing mulch as needed.
- Annual beds shall be kept free of weeds and mulched with sphagnum peat of a neutral pH as needed. Perennial beds shall be kept free of weeds and mulched with fine textured shredded bark as needed. Cut spent flower stalks from perennial plants at regular intervals.



**PARKING LOT ISLAND PLANTING DETAIL not to scale**

**NOTES:**

- STAKE TREES UNDER FOUR INCH (4") CALIPER.
- CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
- SET TOP OF BALL THREE INCHES (3") ABOVE FINISH GRADE.
- SET STAKES VERTICAL & EVENLY SPACED.
- STAKES OR GUYS TO BE SECURED ABOVE THE FIRST BRANCH.
- DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.
- REMOVE ALL TAGS, STRING, PLASTICS, AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE DAMAGE.

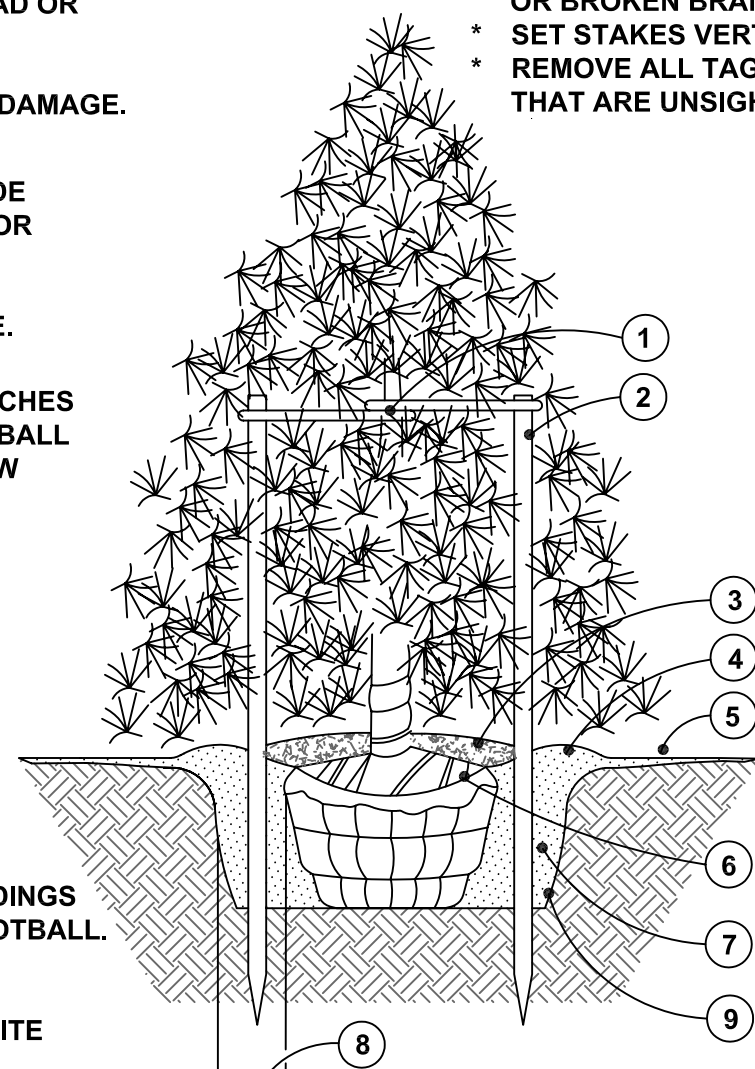


**DECIDUOUS TREE**

- STAKE TREE JUST BELOW FIRST BRANCH USING TWO INCH TO THREE INCH (2"-3") WIDE BELT-LIKE MATERIAL OF NYLON, PLASTIC, OR OTHER ACCEPTABLE MATERIAL. (NO WIRE OR HOSE TO BE USED TO GUY TREES.) THREE (3) GUYS EVENLY SPACED PER TREE. REMOVE AFTER ONE (1) WINTER SEASON.
- 2 x 2 HARDWOOD STAKES. POSITION SIX INCHES TO EIGHT INCHES (6"-8") OUTSIDE OF ROOTBALL AND EXTEND EIGHTEEN INCHES (18") BELOW TREE PIT INTO UNDISTURBED SOIL.
- APPLY TREE WRAP AND SECURE WITH A BIODEGRADABLE MATERIAL AT TOP AND BOTTOM. REMOVE AFTER ONE (1) WINTER.
- SHREDDED BARK MULCH OF A NATURAL COLOR AT FOUR INCH (4") MINIMUM DEPTH. LEAVE A THREE INCH (3") CIRCLE OF BARE SOIL AT THE BASE OF THE TREE.
- MOUND TO FORM TREE SAUCER.
- FINISH GRADE SLOPED AWAY FROM TREE.
- CUT AND REMOVE WIRE, BURLAP, AND BINDINGS FROM THE TOP ONE-THIRD (1/3) OF THE ROOTBALL.
- WIDTH OF ROOTBALL ON EACH SIDE.
- PLANTING MIX SHALL BE AMMENDED PER SITE CONDITIONS AND PLANT REQUIREMENTS.
- SCARIFY BOTTOM AND SIDES OF PLANTING PIT TO FOUR INCH (4") DEPTH.

**NOTES:**

- STAKE ALL EVERGREEN TREES UNDER TWELVE FEET (12') HIGH. GUY ALL EVERGREEN TREES TWELVE FEET (12') HIGH AND OVER.
- CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
- NEVER CUT CENTRAL LEADER. PRUNE ONLY TO REMOVE DEAD OR BROKEN BRANCHES.
- SET STAKES VERTICAL AND EVENLY SPACED.
- REMOVE ALL TAGS, STRING, PLASTICS, AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE GIRDLING.



**EVERGREEN TREE**

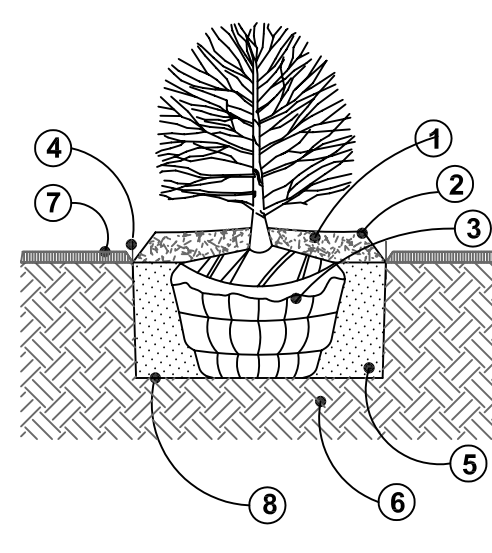
- STAKE TREE AS INDICATED USING TWO INCH TO THREE INCH (2"-3") WIDE BELT-LIKE MATERIAL OF NYLON, PLASTIC, OR OTHER ACCEPTABLE MATERIAL. (NO WIRE OR HOSE TO BE USED TO GUY TREES.) THREE (3) GUYS EVENLY SPACED PER TREE. REMOVE AFTER ONE (1) WINTER SEASON.
- 2 x 2 HARDWOOD STAKES. POSITION SIX INCHES TO EIGHT INCHES (6"-8") OUTSIDE OF ROOTBALL AND EXTEND EIGHTEEN INCHES (18") BELOW TREE PIT INTO UNDISTURBED SOIL.
- SHREDDED BARK MULCH OF A NATURAL COLOR AT FOUR INCH (4") MINIMUM DEPTH. LEAVE A THREE INCH (3") CIRCLE OF BARE SOIL AT THE BASE OF THE TREE.
- MOUND TO FORM TREE SAUCER.
- FINISH GRADE SLOPED AWAY FROM TREE.
- CUT AND REMOVE WIRE, BURLAP, AND BINDINGS FROM THE TOP ONE-THIRD (1/3) OF THE ROOTBALL.
- PLANTING MIX SHALL BE AMMENDED PER SITE CONDITIONS AND PLANT REQUIREMENTS.
- WIDTH OF ROOTBALL ON EACH SIDE.
- SCARIFY BOTTOM AND SIDES OF PLANTING PIT TO FOUR INCH (4") DEPTH.

**GENERAL NOTES FOR ALL PLANTINGS:**

- DO NOT CUT CENTRAL LEADER.
- REMOVE ALL TAGS, STRINGS, PLASTICS, AND ANY OTHER NON-BIODEGRADABLE MATERIALS (EXCEPT LABEL FOR PLANT NAME) FROM PLANT STEMS OR CROWN WHICH ARE UNSIGHTLY OR COULD CAUSE GIRDLING.
- PLANTS SHALL BEAR THE SAME RELATION TO FINISH GRADE AS IT BORE TO THE PREVIOUS GRADE IN THE NURSERY. SET THE BASE OF THE PLANT SLIGHTLY HIGHER THAN EXISTING GRADE IF PLANTING IN CLAY SOILS.
- CENTER THE ROOTBALL IN THE PLANTING HOLE. LEAVE THE BOTTOM OF THE PLANTING HOLE FIRM. USE WATER TO SETTLE THE PLANTING MIX AND REMOVE ANY AIR POCKETS AND FIRMLY SET THE TREE OR SHRUB. GENTLY TAMP IF NEEDED.

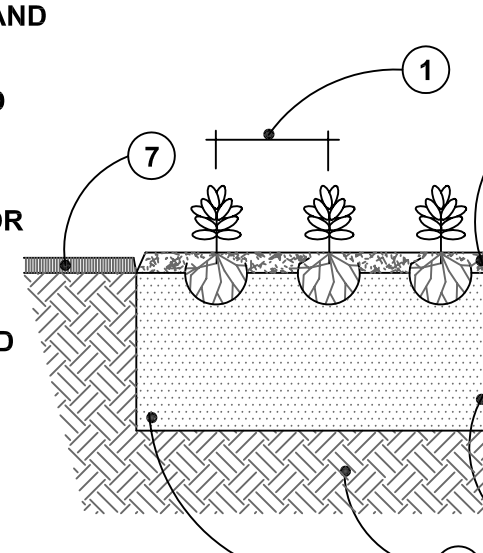
**NOTE:**

- CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.



**SHRUB**

- SHREDDED BARK MULCH AT FOUR INCH (4") MINIMUM DEPTH. MULCH SHALL BE NATURAL IN COLOR.
- FORM A SAUCER WITH MULCH AND SOIL AROUND SHRUB BED.
- CUT AND REMOVE BURLAP AND BINDINGS FROM THE TOP ONE-THIRD (1/3) OF THE ROOTBALL.
- 3/16" x 4" ALUMINUM EDGING (OR APPROVED EQUIVALENT) OR SPADED EDGE.
- EXCAVATE PLANTING HOLE AND BACKFILL WITH PREPARED PLANTING MIX.
- UNDISTURBED SUBGRADE.
- LAWN.
- SCARIFY SUBGRADE.



**ANNUAL / PERENNIAL / GROUND COVER**

**NOTE:**

- CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
- PERENNIALS TO BE PLANTED UP TO THE EDGE OF THE SAUCER AROUND A TREE OR SHRUB BED.

- SEE PLANT LIST FOR SPACING DISTANCE.
- SHREDDED HARDWOOD BARK OF A NATURAL COLOR MULCH AT FOUR INCH (4") MINIMUM DEPTH.
- 3/16" x 4" ALUMINUM EDGING (OR APPROVED EQUIVALENT) OR SPADED EDGE.
- EXCAVATE PLANTING BED AND BACKFILL WITH PREPARED PLANTING MIX AT A TEN INCH (10") DEPTH.
- UNDISTURBED SUBGRADE.
- PLANTING MIX TO CONSIST OF EQUAL PARTS OF SAND, LEAF COMPOST, AND NATIVE SOIL.
- LAWN.

not to scale

**NOTE:**

- See Sheet LP - 1: LANDSCAPE PLANTING PLAN for overall landscape plan, plant list, and calculations for landscape requirements.

date: June 18, 2024  
revised:



**LANDSCAPE PLAN FOR:**  
Fairway Engineering, L.L.C.  
28525 Beck Road, Suite 124  
Wixom, Michigan 48393  
(248) 938-4902

**PROJECT LOCATION:**  
Industrial Building  
Austin Court  
Howell Township,  
Michigan

**LANDSCAPE PLAN BY:**  
Nagy Devlin Land Design  
31736 West Chicago Ave.  
Livonia, Michigan 48150  
(734) 634-9208



*J. Brian Devlin*  
AUTOCAD SIGNATURE  
ORIGINAL IN BLUE

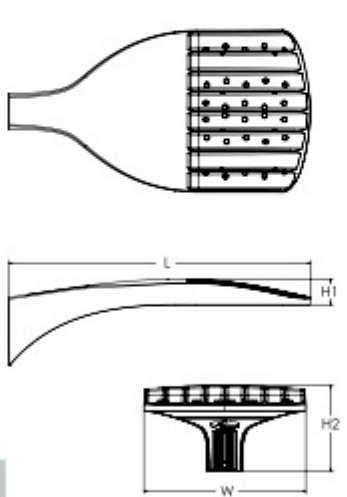




**D-Series Size 0 LED Area Luminaire**

**Specifications**

EPA: 0.44 ft<sup>2</sup> (0.41 m<sup>2</sup>)  
 Length: 26.18" (66.5 cm)  
 Width: 14.06" (35.7 cm)  
 Height H1: 2.26" (5.7 cm)  
 Height H2: 7.46" (19.0 cm)  
 Weight: 23 lbs (10.4 kg)



**Introduction**

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit [www.acuitybrands.com/designselect](http://www.acuitybrands.com/designselect). \*See ordering tree for details.

**Ordering Information** EXAMPLE: D5X0 LED P6 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DBDXD

Series	LEDs	Color temperature	Color Rendering Index	Distribution	Mounting	Voltage	Shipped included
D5X0 LED	Forward optics P1 PS P2 P6 P3 P7	(this section 70CRI only) 30K 3000K 40K 4000K 50K 5000K	70CRI	FRF Automotive front row TTS Type I short TSM Type II medium T3M Type III medium T4M Type IV medium TAM Type IV Medium TFTM Forward throw medium	SPFA Square pole mounting (R8 drilling 1.5" min. 50 pole) SPRA Round pole mounting (R8 drilling, 3" min. 80 pole) SPRS Square pole mounting (R5 drilling, 2" min. 50 pole) SPRS Round pole mounting (R5 drilling, 3" min. 80 pole) SPRNB Square narrow pole mounting (R5 drilling, 3" min. 50 pole)	MVOLT (120V-277V) XVOLT (277V-480V) 120V-277V 277V-480V 347V-480V 480V	SPFA Square pole mounting (R8 drilling 1.5" min. 50 pole) SPRA Round pole mounting (R8 drilling, 3" min. 80 pole) SPRS Square pole mounting (R5 drilling, 2" min. 50 pole) SPRS Round pole mounting (R5 drilling, 3" min. 80 pole) SPRNB Square narrow pole mounting (R5 drilling, 3" min. 50 pole) WBA Wall bracket MA Mast arm adapter (mounts on 2 3/8" OD horizontal fence)

Control Options	Other options	Finish/cover
<b>Shipped installed</b>	<b>Shipped separately</b>	<b>DBDSD</b> Dark Bronze <b>DBLSD</b> Black <b>DBMAD</b> Natural Aluminum <b>DBWHD</b> White <b>DBWDB</b> Textured dark bronze <b>DBLWD</b> Textured black <b>DBMWD</b> Textured natural aluminum <b>DBWWD</b> Textured white



**D-Series Size 1 LED Wall Luminaire**

**Specifications**

Width: 13-3/4" (34.9 cm)  
 Depth: (25.4 cm)  
 Height: 6-3/8" (16.2 cm)

**Back Box (BBW, E20WC)**  
 Width: 13-3/4" (34.9 cm)  
 Depth: 4" (10.2 cm)  
 Height: 6-3/8" (16.2 cm)  
 Weight: 5 lbs (2.3 kg)  
 Weight: 10 lbs (4.5 kg)  
 Weight: 16.3 lbs (7.4 kg)

**Introduction**

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

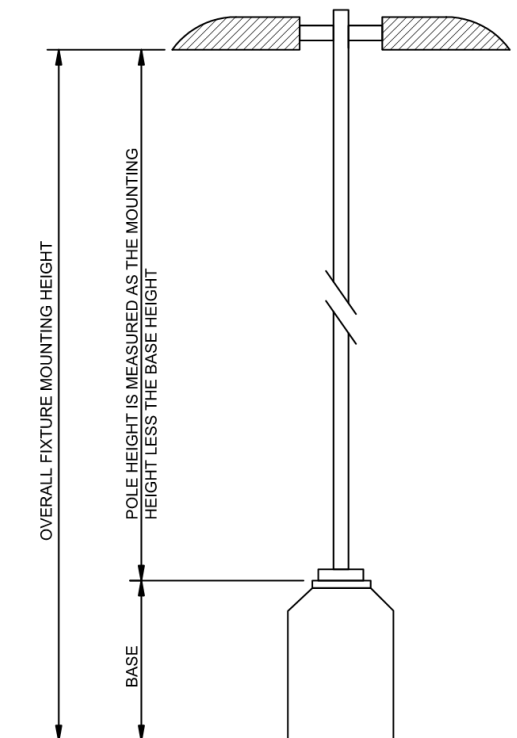
With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

**Ordering Information** EXAMPLE: D5XW1 LED 20C 1000 40K T3M MVOLT DBDXTD

Series	LEDs	Drive Current	Color temperature	Distribution	Mounting	Voltage	Shipped included	Shipped installed
D5XW1 LED	10C 10 LEDs (low engine) 20C 20 LEDs (low engine) <sup>1</sup>	350 350mA 700 700mA 1000 1000mA (A1) <sup>2</sup>	30K 3000K 40K 4000K 50K 5000K	T2S Type II Short T3M Type III Medium T4M Type IV Medium TAM Type IV Medium TFTM Forward Throw Medium	MVOLT 120 XVOLT 277	120V-277V 277V-480V 347V-480V 480V	FE Photometric entry bracket BBW Surface-mounted back box (for corded entry) <sup>3</sup> PIRHCVC Motion/ambient sensor; 6-15" mounting height, ambient sensor enabled at 10' <sup>4</sup> PIRHCVC Motion/ambient sensor; 15-30" mounting height, ambient sensor enabled at 10' <sup>5</sup> EDWC Emergency battery backup (includes external component enclosure, LA file 20 compliant) <sup>6</sup>	PIRHCVC Motion/ambient sensor; 6-15" mounting height, ambient sensor enabled at 10' <sup>4</sup> PIRHCVC Motion/ambient sensor; 15-30" mounting height, ambient sensor enabled at 10' <sup>5</sup> EDWC Emergency battery backup (includes external component enclosure, LA file 20 compliant) <sup>6</sup>

Other options	Finish/cover
<b>Shipped installed</b>	<b>DBDSD</b> Dark bronze <b>DBLSD</b> Black <b>DBMAD</b> Natural aluminum <b>DBWHD</b> White <b>DBWDB</b> Textured dark bronze <b>DBLWD</b> Textured black <b>DBMWD</b> Textured natural aluminum <b>DBWWD</b> Textured white

- Accessories**
- 1. 20C, 1000 is not available with PIR, PIRHCVC, or PIRHCVCV.
  - 2. MVOLT drives operate on any line voltage from 120-277V (50/60 Hz).
  - 3. Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
  - 4. Only available with 20C, 700mA or 1000mA. Not available with PIR or PIRHCVC.
  - 5. Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
  - 6. Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRHCVC).
  - 7. Reference Motion Sensor table on page 3.
  - 8. Same as old ELVDC. Cold weather (20C) rated. Not compatible with corded entry applications. Not available with BBW mounting option.
  - 9. Not available with SPFA.
  - 10. Not available with EDWC.
  - 11. Also available as a separate accessory; see Accessories information.
  - 12. Not available with EDWC.



HIGHLAND ROAD (M-59)



**Drawing Note**  
 THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

**Ordering Note**  
 FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

- General Note**
- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
  - SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
  - CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0".

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
PROPERTY LINE	+	0.0 fc	0.5 fc	0.0 fc	N/A	N/A	0.0:1
SITE CIRCULATION	+	1.1 fc	3.4 fc	0.2 fc	17.0:1	5.5:1	0.3:1
OVERALL	+	0.6 fc	3.4 fc	0.0 fc	N/A	N/A	0.2:1

Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Lumens per Lamp	LLF	Wattage	Mounting Height'
A1		4	Lithonia Lighting	DSX0 LED P4 30K 70CRI BLCA	D-Series Size 0 Area Luminaire P4 Performance Package 3000K CCT 70 CRI Type 4 Extreme Backlight Control	LED	8023	0.9	93.04	18'-0"
A2		3	Lithonia Lighting	DSX0 LED P4 30K 70CRI T3M	D-Series Size 0 Area Luminaire P4 Performance Package 3000K CCT 70 CRI Type 4 Medium	LED	10839	0.9	93.04	18'-0"
B		32	Lithonia Lighting	DSXW1 LED 10C 1000 30K T4M RVOLT	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T4M OPTIC, 3000K, @ 1000mA.	LED	3534	0.9	38.8	12'-0"

**Plan View**  
 Scale - 1" = 40ft



TRANSWEST-UNIT 3  
 PHOTOMETRIC SITE PLAN  
 GASSER BUSH ASSOCIATES  
 PREPARED FOR: FAIRWAY ENGINEERING  
 WWW.GASSERBUSH.COM

Designer JD/KB  
 Date 6/14/2024  
 Scale Not to Scale  
 Drawing No. #24-30536-V1  
 1 of 1





**Carlisle | Wortman**  
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: July 17, 2024

**Site Plan Review  
For  
Howell Township, Michigan**

<b>Applicant:</b>	Tom Schroeder
<b>Project Name:</b>	Cornerstone Group
<b>Plan Date:</b>	June 20, 2024
<b>Location:</b>	East of W Highland Road (M-59) & North of I-96
<b>Zoning:</b>	Industrial (I)
<b>Action Requested:</b>	Preliminary Site Plan Approval

**PROJECT AND SITE DESCRIPTION**

The applicant has submitted a preliminary site plan dated June 20, 2024, that proposes the construction of a multi-unit facility located at the vacant parcel #06-28-301-034, which is located on Austen Ct. in the Trans West Industrial Park. The proposal includes the construction of six (6) structures with a total of fifty-seven (57) units which include eight (8) 50'x60' units, twenty-six (26) 24'x60' units, and twenty-three (23) 15'x60' units.

The proposed development appears to be a mini storage facility. Mini storage is not a permitted or special use in the Industrial district. However, the applicant states that the units are to be rented by small businesses, such as plumbers, who will be able to have their office and on-site storage available. Contractor's buildings are not a permitted use in the Industrial District.

Per Section 13.05, warehouse and storage facilities are permitted provided they are developed and operated primarily to serve the principal use by right in the Industrial District. The applicant must provide clarification as to the intended use of the development in order to determine if the use is among those permitted or special uses listed in Article XIII.

**Figure 1. Aerial Image of Subject Site and Vicinity**



Source: NearMap

**Items to be Addressed:** 1) The applicant to clarify the intended use of the site and functionality on the plans. 2) Sheet C-1 shall be edited to list the correct parcel ID (4706-28-301-034) for the site address and tax ID number.

**NEIGHBORING ZONING, LAND USE AND MASTER PLAN**

Neighboring zoning designations are summarized in Table 1.

**Table 1. Zoning, Land Use and Master Plan Designations**

	Zoning	Master Plan Designations
<b>Subject Site</b>	IZ - Industrial Zone	IZ - Industrial Zone
<b>North</b>	W Highland Road Right-of-Way / HSC - Highway Service Commercial	W Highland Road Right-of-Way / HC - Highway Commercial
<b>South</b>	IZ - Industrial Zone	IZ - Industrial Zone
<b>East</b>	C & O Railway / IZ - Industrial Zone	C & O Railway / IZ - Industrial Zone
<b>West</b>	IZ - Industrial Zone	IZ - Industrial Zone

**Items to be Addressed:** None.

### AREA, WIDTH, HEIGHT, SETBACKS

The following table summarizes the Density, Placement, and Height Regulations for the site plan associated with the use. The proposed structures appear to meet all dimensional regulations of the zoning ordinance, except that the height of the buildings have not been provided.

**Table 2. Density, Placement, and Height Regulations**

	Required	Provided
Lot Area	2 Acres	6.5 Acres
Lot Width	120 Feet	>200 Feet
Front Setback	35 Feet	35 Feet
Side Setback	10 Feet Minimum (Minimum Total of Both Sides=25 Feet)	51 feet (west) 68 feet (east)
Rear Setback	50 Feet Minimum	90.28 Feet
Lot Coverage	75 % Max	24.6%
Building Height	70 Feet Max	Not Provided

*Items to be Addressed: Provide building height for proposed buildings.*

### BUILDING LOCATION AND SITE ARRANGEMENT

*Items to be Addressed: None.*

### PARKING, LOADING

The applicant is proposing one-hundred and twenty-three (123) parking spots including ten (10) handicap parking spots on site.

Each storage unit has access to at least one parking space. However, the use must be clarified in order to determine what parking calculations will apply to this development. The applicant shall provide parking calculations for the proposed use to demonstrate compliance with Section 18.02G. of the Zoning Ordinance.

*Items to be Addressed: 1.) The applicant shall provide parking calculations for the proposed use to demonstrate compliance with Section 18.02G. of the Zoning Ordinance.*

### FENCING

Fencing is present along the northern property line that abuts Highway M-59. The applicant is not proposing any additional fencing.

*Items to be Addressed: None.*

**SITE ACCESS AND CIRCULATION**

Proposed access to the facility will be accessible from two (2) twenty-four (24) feet drives on Austin Court. Drives within the site will have the minimum 24 foot wide drive lanes necessary for two way circulation. The ends of parking rows should have parking islands.

The applicant does not provide a refuse vehicle circulation or emergency vehicle circulation plan to demonstrate proper vehicular traffic flow. The applicant shall provide a circulation map with turning templates to demonstrate that trucks and fire apparatus can navigate the site.

We defer to Engineering and the Fire Chief for further consideration.

**Items to be Addressed:** 1) *The ends of parking rows should have parking islands.* 2) *The applicant shall provide a circulation map with turning templates to demonstrate that trucks and fire apparatus can navigate the site.*

**NATURAL FEATURES**

The site was part of the initial development for the Trans West Industrial development. We believe the site was cleared as part of the initial land balancing. Trees have grown on the site since then. The site plan states that no wetlands are located within the project limits. The EGLE Wetlands Map Viewer displays a wetland as identified on NWI and MIRIS maps in the southwestern portion of the lot.

**Items to be Addressed:** *None.*

**LANDSCAPING**

The applicant has provided a landscape plan, as shown in the following table. We note that the number of plantings matches the requirement. However, along the M-59 corridor, the twelve (12) Norway Spruce trees clustered in the corners do not provide an appropriate buffer. These should be spread out to follow the Northwestern property line to provide a suitable buffer.

Landscaped Area	Requirement	Factor	Required	Provided	Complies
Non-Residential Parcel	1 tree per 3,000 square feet	$65,814 / 3,000 = 22$ trees	22 trees	28 trees	Complies
Parking Lot	25 square feet of interior landscaping per parking space	$119$ parking spaces x $25$ square feet = $2,975$ square feet	$2,975$ square feet	$3,144$ square feet	Complies
Austin Court	1 deciduous or evergreen tree per 40 linear feet	$305.65$ linear feet / $40$ linear feet = $7.64$ trees	8 trees	9 trees	Complies

	1 ornamental tree per 100 linear feet	305.65 linear feet / 100 = 3.06 trees	3 trees	4 trees	Complies
	Min. of 8 shrubs per every 40 linear feet	305.65 linear feet / 40 linear feet x 8 = 61.13 shrubs	61 shrubs	64 shrubs	Complies
Highway M-59	1 deciduous or evergreen tree per 40 linear feet	466.91 linear feet / 40 linear feet = 11.67 trees	12 trees	12 trees	Complies
	1 ornamental tree per 100 linear feet	466.91 linear feet / 100 linear feet = 4.67 trees	5 trees	5 trees	Complies
	Min. of 8 shrubs per every 40 linear feet	466.91 linear feet / 40 linear feet x 8 = 93.38 shrubs	93 shrubs	93 shrubs	Complies

**Items to be Addressed:** 1) Include plantings labeled AGR on the plant list. 2) Norway Spruce trees used in calculating Highway M-59 landscaping should be spread out along the Northwestern property line to serve as a buffer.

### LIGHTING

A sufficient lighting plan has been provided. A photometric plan indicates that the light levels at property lines are acceptable. Planned lighting includes LED Wall Luminaire lights along the storage units and LED Area Luminaire which will be base mounted and located near the entrance(s) of the site. All lights appear to be permanent horizontal fixtures that will appropriately shield light from adjacent properties.

**Items to be Addressed:** None.

### SIGNS

Site plan does not indicate any signage proposed on the site.

If added, signs will require a separate permit from the Zoning Administrator. A sign application must be filed with the Zoning Administrator, at which time the zoning administrator will determine if the signs meet the requirements of the ordinance.

**Items to be Addressed:** None.

### FLOOR PLAN AND ELEVATIONS

Floor plan and elevation sheets have been included in the site plan on sheets A-1.0.

**Items to be Addressed:** None.

## TRASH ENCLOSURE

There are six (6) trash receptacles proposed at the site. Two (2) of which will be located within a double receptacle enclosure surrounded by a six (6) foot fence and appropriate landscape screening. The remaining two (2) trash receptacles will be separately placed along the east side of the parcel and are to be screened with appropriate landscaping.


It is unclear if the single trash receptacle will be truck-lifted which will require a six (6) foot high fence or man-lifted, which will require a four (4) foot high fence. The trash receptacles along the Eastern property line appear to be within the ten (10) foot side yard setback.

**Items to be Addressed:** 1) Provide trash enclosure details for the two (2) dumpsters along the eastern lot line. 2) Relocate trash receptacles along Eastern property line to avoid encroachment on the ten (10) foot side yard setback.

## RECOMMENDATIONS

We recommend the following items be addressed before the Planning Commission takes action on the preliminary site plan:

1. Applicant to clarify the intended use of the site and functionality on the plans.
2. Sheet C-1 shall be edited to list the correct parcel ID (4706-28-301-034) for the site address and tax ID number.
3. Provide building height for proposed structures.
4. The ends of parking rows should have parking islands.
5. The applicant shall provide a circulation map with turning templates to demonstrate that trucks and fire apparatus can navigate the site.
6. The applicant shall provide parking calculations for the proposed use to demonstrate compliance with Section 18.02G. of the Zoning Ordinance.
7. Include the trees/shrubs labeled AGR in the plant list.
8. Norway Spruce trees used in calculating Highway M-59 landscaping should be spread out along the Northwestern property line to serve as a buffer.
9. Provide trash enclosure details for the two (2) dumpsters along the eastern lot line.
10. Relocate trash receptacles along the Eastern property line to avoid encroachment on the ten (10) foot side yard setback.

  
\_\_\_\_\_  
**CARLISLE/WORTMAN ASSOC., INC.**  
**Paul Montagno, AICP**  
**Principal**

  
\_\_\_\_\_  
**CARLISLE/WORTMAN ASSOC., INC.**  
**Grayson Moore**  
**Community Planner**

July 12, 2024

Jonathan Hohenstein  
Howell Township  
3525 Byron Road  
Howell, MI 48855

RE: Proposed Storage Unit Development (Transcontinental West)  
Parcel #06-26-301-034 Howell Township  
Preliminary Site Plan Review

Mr. Hohenstein,

We have received and reviewed Preliminary site plans for Transcontinental West. The plans were prepared by Fairway Engineering LLC and are dated June 20, 2024. Based on our review, we offer the following comments:

**General**

The existing site is a 6.5-acre vacant lot zoned Industrial (I) and is surrounded by Industrial parcels to the South, East and Northeast with M-59 to the Northwest. The proposed use of the site is indoor storage units which is constant its zoning.

Setback requirements are correctly listed on the plan with the exception of the rear yard set back which is listed as 10'. Section 26.05 of the Howell Township Zoning Ordinance states that the setback requirement along M-59 is minimally 50-feet from all buildings and 20-feet for all other structures. There does not appear to be a conflict, the building has approximately 90 feet of clearance and the dumpster has 21 feet of clearance. There are 2 dumpsters encroaching on the side yard setback to the northeast.

The height of the proposed buildings should be included on the plans

The plans include the names and address of the owners (Tom Schroeder, Cornerstone Group) and engineer who prepared the plans (Mark Mahajan, Fairway Engineering LLC).

The cover sheet includes a vicinity map. This map should include the following:

- Scale (1"=2000')
- North Arrow
- Parcel ID Numbers

A legal description is provided however the bearing and distances provided to not close withing the minimum ratio of 1 part to 5000. The provided description does not include the ROW lines along Austin Court.

The cover sheet should have the seal of an Engineer licensed in the state of Michigan.

There are several overlapping labels throughout the plan set, making some of the labels difficult to read.

July 12, 2024  
2 of 4

### **Grading and Drainage**

A topographical survey has been provided. The topographical survey should include, at minimum, the 100' abutting the entire perimeter of the site. There is also a portion of the site that appears to have been omitted from the survey and has a note stating that "there is a steep hill to east bound M-59 along this entire area". The survey should capture this area and 100' beyond the parcel limits.

Two benchmarks have been provided, however there is no datum listed. Ensure that elevations are based on either NAD83 or NGVD88 and that the datum is clearly referenced.

It appears that there are 1-foot contours included based on the point elevations however many of the contour lines are not labeled.

The southern property lines should be labeled with bearing and distance.

Please include the edge of pavement, edge of shoulder (or top of curb), and centerline of M-59 on the site plan.

The existing topography of the site generally slopes northeast.

The plans indicate that storm water will be collected by several catch basins within the curbed HMA parking area and discharged into an existing catch basing labeled "1089". Storm water ultimately outlets to a regional detention pond.

Proposed grading should be included on the plans.

All proposed utilities should have their pipe size and type labeled in plan view.

Run-off calculations were provided, they were not reviewed at this time. They will be evaluated in future site plan reviews.

For final site plan reviews calculations for allowable discharge to the existing storm sewer will be required as well as allowable discharge requirements to the existing regional storm pond.

Due to lack of proposed grading, it is unclear how stormwater is being controlled in the unpaved portions of the site.

No SESC plan has been provided in this set of plans. Please provide details in final site plan review documents

### **Sanitary Sewer**

The proposed sanitary cleanout should be located at the deflection.

The office building should be clearly identified on the project plan sheet.



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### **Site Access and Paving**

No plan is provided for the turning patterns required by emergency vehicles (Fire Truck) or auxiliary vehicles (Garbage Truck).

### **Landscaping**

A landscaping plan is provided. We defer to the Township planner to comment on the Landscaping plan.

### **Lighting**

Building lighting and light poles are proposed and details are provided. A photometric plan was provided and shows that minimal light leaves the property in multiple locations. We defer all further comments on the lighting plan to the Township Planner.

### **Easements**

There are several existing easements shown on the rear of the property and adjacent to the south parcel. Do not construct permanent features in existing easement locations.

### **Recommendations**

We would make the following recommendations for improvements prior to acceptance by the Township:

1. Review and approval of the plans by:
  - a. Howell Township Planner
  - b. Fire Marshal
  - c. Livingston County Drain Commissioner
  - d. MHOG
2. Adjust layout to ensure dumpster location is outside of the setback
3. Adjust labels so they are all discernable.
4. Include a scale, north arrow on the vicinity map
5. The plans should have the seal of an Engineer licensed in the state of Michigan
6. Provide a legal description that closes withing acceptable tolerance.
7. Include topographical survey for the 100' abutting the parcel.
8. Include proposed grading on the plans
9. Include the size and type of pipe of all existing and proposed utilities in plan view.
10. Provide Emergency Vehicle Circulation Plan Sheet
11. Provide SESC Control Plan and Details
12. Provide architectural plan drawings of the storage units and office building which include
  - a. Floor plans
  - b. Exterior Elevations
  - c. Façade renderings
13. Include proposed office building statistical data (IE vertical height, lot coverage, dimensions)
14. Include Howell Township standard detail sheets (sanitary sewer)
15. Include MHOG water main standard detail sheets (water main)
16. Provide copies of the recorded easements for Township Engineers review.


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If you have any questions or need anything further, please feel free to contact our office.

Sincerely,



**Adam C. Jacquain**  
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**John W. Bradley**  
Phone: (517) 719-5503  
Mailto: johnbradley@spicergroup.com

**SPICER GROUP, INC.**

1595 W Lake Lansing Rd Suite 200  
East Lansing, MI 48823

CC: SGI File  
Jonathan Hohenstein, Howell Township Planner  
Ken Recker, Livingston County Chief Deputy Drain Commissioner  
Paul Montagno, Carlisle Wortman  
Bryan Hager, Howell Township Fire Inspector  
Greg Tatara, MHOG



# Howell Area Fire Department Fire Marshal Division

1211 W Grand River Ave Howell, MI 48843  
office: 517-546-0560 fax: 517-546-6011  
[firemarshal@howellfire.net](mailto:firemarshal@howellfire.net)

**DATE:** July 11, 2024

**TO:** Jonathan Hohenstein  
Howell Twp Zoning Administrator  
3525 Byron Rd  
Howell, MI 48855

**FROM:** Bryan Hager-Fire Inspector

**PROJECT:** Proposed Storage Development, **Howell Township**

**REF:** Site Plan Review - **Approved w/concerns noted**

## **CONCERNS:**

I have reviewed the above listed site plan and find that it is **satisfactory** as presented as long as the **following conditions** are met:

1. Building(s) shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property.
  1. These numbers/letters shall be at least 6" high and shall contrast with their background.
2. A Knox Box is required on the main business office if applicable. A Knox Gate Key or Knox Lock will also be required if gating entrance off Austin Court. Application can be obtained from the Howell Area Fire Department or on-line at [www.knoxbox.com](http://www.knoxbox.com).
3. Where the road is 20' wide to 26' wide, "No Parking-Fire Lane" signs would be required on both sides of the street. Where the road is between 27' and 32' wide, "No Parking this side of street" signs would be required on the hydrant side of the street.
4. An approved fire apparatus access road shall be within 150 feet of all portions of the grade level floor.
  - a) The fire department access (driveway) shall meet the following conditions:
  - b) The minimum unobstructed width shall be 20 feet.
  - c) The minimum unobstructed height shall be 13 feet.
  - d) The driveway shall be accessible at all times (i.e. snow removal).
  - e) The driveway shall be constructed so it can support up to 100,000 pound fire apparatus. (IFC 2012:503.2.1)



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5. If automatic sprinkler system is provided throughout any portions of the buildings, please advise the owner that according to 2015 MBC that this suppression system **SHALL** be monitored by an alarm company.
6. Non-climate-controlled buildings without suppression are required to have fire wall separations spaced no more than 2500 square feet apart.
7. The total height/stories of each of the 6 buildings need to be noted.
8. Fire extinguishers shall be installed along each minor access road to storage, spaced no more than 150 feet apart and be a Dry Chemical 4A:80B:C type, at a minimum.
9. A final inspection of the whole building and site shall be performed by the fire department before C of O is issued.

Any changes in this site plan shall be submitted to the Howell Area Fire Department for additional approval. If there is anything further that you need, please feel free to give me a call.