

HOWELL TOWNSHIP PLANNING COMMISSION

REGULAR MEETING

3525 Byron Road

Howell, MI 48855

June 25, 2024

6:30 pm

1. Call to Order
2. Roll Call: () Wayne Williams - Chair () Paul Pominville
 () Robert Spaulding – Vice Chair () Tim Boal
 () Mike Newstead – Secretary () Chuck Frantjeskos
 () Matthew Counts – Board Rep.
3. Pledge of Allegiance
4. Approval of the Agenda:
 Planning Commission Regular Meeting: June 25, 2024
5. Approval of the Minutes:
 Regular Meeting May 28, 2024
6. Zoning Board of Appeals Report
7. Township Board Report
8. Scheduled Public Hearings
9. Other Matters to be Reviewed by the Planning Commission
10. Old Business:
 A. Storage Container Ordinance - Discussion
 B. ADU Ordinance – Discussion
11. New Business:
 A. Request for temporary use – Fireworks Tent
 B. Chestnut Self-Storage – Final Site Plan Review
12. Call to the Public
13. Adjournment

DRAFT

**HOWELL TOWNSHIP PLANNING COMMISSION
REGULAR MEETING MINUTES
3525 Byron Road Howell, MI 48855
May 28, 2024
6:30 P.M.**

MEMBERS PRESENT:

Wayne Williams Chair
Robert Spaulding Vice Chair
Mike Newstead Secretary
Bob Wilson Board Rep. Alt.

Tim Boal Commissioner
Chuck Frantjeskos Commissioner

MEMBERS ABSENT:

Paul Pominville Commissioner

Also in Attendance:

Zoning Administrator Jonathan Hohenstein

Chairman Williams called the meeting to order at 6:30 pm. The roll was called. Chairman Williams requested members rise for the Pledge of Allegiance.

APPROVAL OF THE AGENDA:

Motion by Spaulding, **Second** by Newstead, **“To approve the agenda.”** Motion carried.

APPROVAL OF THE MEETING MINUTES:

April 23, 2023

Motion by Boal, **Second** by Spaulding, **“To approve the minutes as presented.”** Motion carried.

ZONING BOARD OF APPEALS REPORT:

Chairman Williams reported on the actions before the Zoning Board of Appeals.

TOWNSHIP BOARD REPORT:

Board Representative Alternate Wilson presented the draft Board minutes, presented his opinions on the taking of the Board minutes, and the Pioneer Cemetery project.

SCHEDULED PUBLIC HEARINGS:

None.

OTHER MATTERS TO BE REVIEWED BY THE PLANNING COMMISSION:

A. Education – Discussion

Zoning Administrator Hohenstein summarized the Board’s discussion on education for the Planning Commission and the ZBA and sought input into options for the Commissioners. Discussion followed. It was the consensus of the Commission to use the new books with the ability to take the online MSU Extension class in the next year with the possibility to have an expert come in and teach a class.

OLD BUSINESS:

A. Storage Container Ordinance - Discussion

Commissioner’s discussed the draft storage container ordinance from Planner Montagno, including:

- Clarification on section 14.07-A, especially, "shall be excluded from the requirements of this section"
- Will they be allowed in all zoning districts or should they be excluded from some districts
- Should storage containers be dealt with in an ordinance separate from Accessory Structures
- Clarity to the screening requirements including the height restrictions on fences
- Painting requirements for storage containers
- Concern on 14.07-F, "Zoning Administrator shall determine the most appropriate location"
- Limit the number of containers allowed per property

B. ADU Ordinance – Discussion

Commissioner's discussed the draft ADU ordinance from Planner Montagno, including:

- Concern with allowing additional residence on single family zoned parcels, changing the feel of the neighborhood, turning it into multi-family
- Section 14.33 already allows for multiple dwellings on a single parcel
- Would section 14.25, temporary use, address the need instead of adopting an ADU ordinance
- Include square foot size requirements in 14.10-E
- Clarification on detached units sharing a 15-foot wall
- Ability to limit the people using the ADU to "family"
- What happens should the primary unit not be owner occupied
- Running all utilities from the primary dwelling would limit the size of the ADU
- Including garbage service with an ADU
- Will an ADU increase the number of cars allowed under the ordinance
- Possibility of allowing attached ADUs and putting a process in place on a case-by-case basis for approval of detached ADUs

NEW BUSINESS:

None.

CALL TO THE PUBLIC:

Shane Fagan, 30 Santa Rosa Dr.: spoke about the draft storage container ordinance provisions, property owner's expectations regarding views across neighbor's property, complaint-based enforcement, desire to eliminate several ordinances, how the zoning of property is changed.

ADJOURNMENT:

Motion by Newstead, **Second** by Boal, "**To adjourn.**" Motion carried. The meeting was adjourned at 8:55 pm.

Date

Mike Newstead
Planning Commission Secretary

HOWELL TOWNSHIP ZONING BOARD OF APPEALS

UNAPPROVED MINUTES: May 21st 2024

3525 BYRON RD. HOWELL TOWNSHIP HALL, HOWELL MI 48855 (517-546-2817)

MEMBERS PRESENT:

MEMBERS ABSENT:

Ken Frenger	Chairman
Carol Weaver	Vice Chair
Jim McEvoy	Secretary
Wayne Williams	PC – Rep.
Jeff Smith	Board Rep
Jonathan Hohenstein	Zoning Administrator

Ken Frenger called the meeting to order at 6:30 p.m. The roll was called.

APPROVAL OF AGENDA: **MOTION** by Smith seconded by McEvoy, “**To approve the May 21,2024 Zoning Board of Appeals Agenda**” Motion carried.

APPROVAL OF MINUTES: **MOTION** by Weaver, seconded by Williams, “**To Approve the April 16,2024 Zoning Board of Appeals Minutes as Presented**” Motion carried.

TOWNSHIP BOARD REPORT: Synopsis was given by Smith no questions. 2024-2025 budget by approved, Education budget to be discussed as separate item below

PLANNING COMMISSION REPORT: Williams reviewed the minutes from the planning commission meeting. No questions

NEW BUSINESS:

PETITIONER: Kevin Staley, **File# PZBA-2024-03, PARCEL #4706-12-400-017**, 1920 E Marr Rd., Howell MI, 48855 (full legal description available upon request).

**ARTICLE XIV – SUPPLEMENTAL REGULATIONS,
SECTION 14.07 Accessory Building Provisions, Item B.**

REQUEST: Applying for a One Hundred (100) foot dimensional variance to allow for an accessory building to be located in front of the rear line of the house.

Jeff Smith asked questions regarding location of septic field, avoidance of power lines, location of propane tank, if the property could be split. Kevin Staley stated, lot heavily wooded, building would not be visible from road, (members agreed), building would have aesthetic match to house with roof pitch, siding and trim match. Ken Frenger asked questions about the why in front of house, answer was only level area after discussion of elevation (886-910 approximate 24ft). All questions were answered in a satisfactory manner as this was the only location viable for the detached garage on parcel.

Motion to approve **File# PZBA-2024-03, PARCEL #4706-12-400-017**, 1920 E Marr Rd., Howell MI, 48855

Roll was called, Williams – Yes, Frenger – Yes, Weaver – Yes, McEvoy – Yes, Smith-Yes: Motion carried.

OLD BUSINESS:

OTHER BUSINESS: Discussion on education opportunities for ZBA members. The budget is \$1000. The time frame is July 1 through June 30th. Consensus was that MSU modules and potentially MSU books would be sufficient and fit within the existing budget.

CALL TO THE PUBLIC: No Response.

ADJOURNMENT: Meeting adjourned at 7:30 P.M.

Approved: _____

As Presented: _____

As Amended: _____

As Corrected: _____

Dated: _____

Jim McEvoy, Secretary

**HOWELL TOWNSHIP REGULAR BOARD
MEETING MINUTES**
3525 Byron Road Howell, MI 48855
June 10, 2024
6:30 P.M.

MEMBERS PRESENT:

Mike Coddington Supervisor
Sue Daus Clerk
Jonathan Hohenstein Treasurer

Jeff Smith Trustee
Harold Melton Trustee
Bob Wilson Trustee

MEMBERS ABSENT:

Matthew Counts Trustee

Also in Attendance:

Eleven people were in attendance.

Supervisor Coddington called the meeting to order at 6:30 p.m. The roll was called. Supervisor Coddington requested members rise for the Pledge of Allegiance.

CALL TO THE BOARD:

None

APPROVAL OF THE AGENDA:

June 10, 2024

Motion by Melton, **Second** by Smith, **“To approve the agenda as presented.”** Motion carried.

APPROVAL OF BOARD MEETING MINUTES:

May 13, 2024

BUDGET MEETING MINUTES

Motion by Hohenstein, **Second** by Melton, **“To accept the budget meeting minutes from May 13th as presented.”** Motion carried.

REGULAR BOARD MEETING MINUTES

Motion by Hohenstein, **Second** by Melton, **“To accept the regular Board meeting minutes from May 13th as presented.”** Motion carried.

CALL TO THE PUBLIC:

Lorena Ermacora, 1807 Oak Squire Ln.: Spoke in opposition to marijuana dispensaries.

Ken Schmenk, 508 Hightree Ct.: Spoke in opposition to marijuana dispensaries, issues with regulating dispensaries in municipalities.

Terri Moore, 3763 Crystal Valley Dr.: Spoke in opposition to marijuana dispensaries.

Mike Panczyk, 9484 Wendover Ct.: Spoke in opposition to marijuana dispensaries, lawsuits over municipalities' methods (Ypsilanti in particular) for choosing which dispensary to grant a permit.

Doug Moore, 3763 Crystal Valley Dr.: Spoke in opposition to marijuana dispensaries.

Teresa Panczyk, 9484 Wendover Ct.: Spoke in opposition to marijuana dispensaries.

Toni Michaels, 2849 Amberwood Trail: Spoke about starting a clean-up group for the Shiawassee River, the current state of the Shiawassee River, contamination and activity from property 2440 W. Highland Road.

Curt Hamilton, 1367 Crestwood Rd.: Spoke about the Shiawassee River, the PCB contamination, remediation efforts, EPA reports on the river, current activity at 2440 W. Highland Road.

UNFINISHED BUSINESS:

A. Hold Harmless Agreement

Trustee Wilson reported on the hold harmless agreement he provided to the Board. Supervisor Coddington explained that the Township is waiting on the Township Attorney's review of the agreement and Mr. Wilson's insurance coverage. Discussion followed.

NEW BUSINESS:

A. Leppek Rezoning Request from NSC to IFZ for parcel 4706-20-100-027

Treasurer Hohenstein reported on the rezoning request, the recommendation from the Planning Commission was to approve the request, the recommendation from the County Planning Department was to approve the request. Discussion followed.

Motion by Smith, **Second** by Hohenstein, **"To approve the rezoning for parcel 4706-20-100-027 from the current of NSC to the proposed of IFZ based on the conditions as presented."** Motion carried, 1 dissent.

B. Ballot Proposal Request for Dispensaries to be Allowed/Disallowed in Howell Township for November 2024

Trustee Wilson spoke on allowing a marijuana dispensary in the Township, putting the matter on the November ballot. Discussion followed. **Motion** by Wilson, **"To put it on the ballot."** Clarity was requested. **"To approve a dispensary in Howell Township, on the ballot. People get tired of living in a dictatorship."** No support for the motion was received. Motion failed due to lack of support.

C. South Branch Shiawassee River Clean-Up Project, Guest Speakers Attending

Trustee Wilson reported on the Shiawassee River in Howell Township, would like to start a committee to work on cleaning the river up. Discussion followed. Supervisor Coddington agreed to reach out to the County Drain Commission and be the contact with the public on this issue.

D. Social Media

Trustee Wilson spoke about getting the Township to use social media, would like the Township to post polls for community input. Discussion followed.

CALL TO THE PUBLIC:

Lorena Ermacora, 1807 Oak Squire Ln.: Invited everyone to the substance abuse disorder fair being put on by the Livingston County Health Department.

John Mills, 1750 Oak Grove Rd.: Spoke on the Shiawassee River clean-up and the process to petition the County Drain Commission to perform work on a drain.

Michkaya Gauci, 2446 Amberwood Trail: Spoke on the use of social media and getting younger people involved.

REPORTS:

- A. SUPERVISOR:
No report

- B. TREASURER:
Treasurer Hohenstein reported that the Treasury Department is working on preparing the summer tax bills

- C. CLERK:
Clerk Daus reported that the permanent absentee ballot applications have been sent out.

- D. ZONING:
See Zoning Administrator Hohenstein's report

- E. ASSESSING:
See Assessor Kilpela's report

- F. FIRE AUTHORITY:
Supervisor Coddington reported on the Fire Authority

- G. MHOG:
Supervisor Coddington reported on MHOG

- H. PLANNING COMMISSION:
Trustee Wilson reported on the Planning Commission. See draft minutes.

- I. ZONING BOARD OF APPEALS (ZBA):
Trustee Smith reported on the ZBA. See draft minutes.

- J. WWTP:
Treasurer Hohenstein reported on the wastewater treatment plant and the need for a new aeration pump. Discussion followed. **Motion** by Hohenstein, **Second** by Melton, **"To approve the replacement of the aeration pump from Detroit Pump as presented on an emergency basis.** Motion carried.

- K. HAPRA:
Clerk Daus reported on HAPRA's survey.

- L. PROPERTY COMMITTEE:
No report

- M. PARK & RECREATION COMMITTEE:
No report

DISBURSEMENTS: REGULAR PAYMENTS AND CHECK REGISTER:

Motion by Hohenstein, **Second** by Melton, **“To accept the disbursements as presented and any normal and customary payments for the month.”** Motion carried.

ADJOURNMENT: **Motion** by Counts, **Second** by Smith, **“To adjourn at this time.”** Motion carried. The meeting was adjourned at 7:48 pm.

Sue Daus, Howell Township Clerk

Mike Coddington, Howell Township Supervisor

Tanya Davidson, Recording Secretary

MODIFY SECTION 2.02 TO INCLUDE PORTABLE STORAGE CONTAINERS AND CARGO CONTAINERS IN DEFINITIONS

Portable Storage Containers. Portable, weather-resistant receptacle designed and used for the temporary storage and/or shipment of household goods or building materials (i.e. PODS or MODS), which are typically leased on a short-term basis.

Cargo Containers.

A primarily metal weather-resistant container designed to store or ship goods or building materials. Such containers include reusable steel boxes, freight and bulk shipping containers, and those with similar qualities which are intended for use as an accessory structure.

MODIFY SECTION 14.07 TO INCLUDE CARGO CONTAINER PROVISIONS

Section 14.07 ACCESSORY BUILDING PROVISIONS.

Accessory buildings, except as otherwise permitted in this Ordinance, shall be subject to the following regulations:

A. Any structure having two-hundred (200) square feet or less of internal floor area, which is used for any purpose other than the housing of humans, but is primarily to be use for the housing of non human purpose such as pets, yard equipment, yard maintenance supplies, tools, toys, including motorized or non motorized bicycles and types of household equipment, and which buildings do not have to meet the requirements of the Livingston County Construction Code and will not be built on a structural foundation as required in the Construction Code for other types of buildings, shall ~~be excluded from the requirements of this Section and any required still adhere to the requirements of this section including the need for a~~ zoning permits and payment of fees required under other provisions of this Ordinance except for placement requirements in subsection B. below.

B. Detached accessory buildings shall be located entirely in the rear yard outside of the side and rear setback with the following exceptions:

1. Said building is being constructed pursuant to a Special Use Permit, and in that case, the Township Board after receiving the recommendation of the Planning Commission may authorize the location of the accessory building in any required yard.

2. For accessory structures to a residential use, if the primary residence is situated in the rear portion of a parcel over 2 acres, an accessory structure may be in the front yard if it is:

a. Setback at least 100 feet from the front property line.

b. Designed to be architecturally compatible with the principal structure, ~~or screening~~ that provides 80% opacity is provided between the structure and immediately adjacent neighbor properties.

d. In no instance shall an accessory building be located within a dedicated easement right-of-way.

C. Accessory buildings located on lots and parcels in all Zoning Districts shall be subject to the following regulations:

LOT OR PARCEL AREA REGULATION	REGULATION	MAXIMUM SQUARE FOOTAGE*
12,000 sq. ft. to 0.9 acre	4% of lot area	800 sq. ft.
1 acre to 1.9 acres	4% of lot area	2000 sq. ft.
2 acre to under 19.9 acres	4% of lot area, except that commercial agricultural farm operations shall be excluded from this regulation	3000 sq ft.
20 acres and above	Subject to Max lot coverage	No limit

D. No detached accessory building – shall be located closer than ten (10) feet to any main building.

E. No detached accessory building in AR, SFR, MFR, NSC, OS Districts shall exceed one (1) story or twenty (20) feet in height. Accessory buildings in all other districts may be constructed to equal the permitted maximum height of structures in said districts. Height shall be measured in accordance with Article II Definition 24.

F. When accessory buildings or structures are located on a corner lot, they shall not be located in any front yard or side yard, but if it is determined by the Zoning Administrator that there is insufficient rear yard in which to locate them, the Zoning Administrator ~~shall~~ may determine the most appropriate location for them in the side yard with minimum encroachment upon the required side yard setback area.

G. In no instance shall an accessory building be allowed until there is a principal building or structure located on the lot or parcel of land.

H. No accessory building or structure shall be used as a dwelling, lodging or sleeping quarters for human beings, except as otherwise permitted in this Ordinance.

I. Additional standards for Cargo Containers

1. Containers shall not be stacked above the height of a single container.
2. The exterior appearance of all cargo containers shall be well maintained and absent of unwarranted rust, holes, and other evidence of aging.
3. No writing, advertising, or graphics are permitted on the exterior of the container.
4. ~~Portable storage~~ Cargo containers shall be completely screened from view of abutting properties and/or rights-of-ways by a fence or vegetative screening that meets the requirements of Section 14.26 Fences and 28.03 Specific Landscaping Requirements for Zoning Districts.

5. ~~Portable storage~~ cargo containers shall be located upon an approved foundation that will support the weight of the structure and prevents rodent infestation.
6. No plumbing may be connected to a cargo container.
7. No livestock or pets may be stored in a cargo container.
8. Cargo containers shall be painted in colors which blend into the surrounding area.
9. Cargo containers shall not be used to store hazardous materials, as defined by the Michigan Fire Prevention Code, 1941 PA 107, MCL 29.1 *et seq.*

MODIFY SECTION 14.20 TO INCLUDE PORTABLE STORAGE CONTAINER PROVISIONS

Temporary buildings and structures are permitted during the period of construction, and sales involving change of ownership or rental occupancy. Such buildings, and structures shall be removed upon completion or abandonment of construction, sale or rental activities and prior to occupancy and use of the building or structure for permitted uses.

Also refer to Sections 14.28 and 16.09 for permits to park or use mobile homes on a temporary basis.

A. Portable Storage Containers may be permitted as a temporary structure subject to the following conditions:

1. No portable storage container may be stacked on top of another or any other object.
2. No electricity or plumbing may be connected to a portable storage container.
3. Portable storage containers must be placed on a driveway, gravel or paved area.
4. No portable storage container shall be used for living quarters.
5. No livestock or pets may be stored in a portable storage container.
6. Portable storage containers may be placed on a vacant lot only if that lot is associated with an approved building construction project.
7. Portable storage containers shall not be used to store hazardous materials, as defined by the Michigan Fire Prevention Code, 1941 PA 107, MCL 29.1 *et seq.*
8. No portion of a portable storage container shall be placed in a location which may cause hazardous conditions or constitute a threat to public safety.
9. Portable storage containers in non-residential districts or which are associated with a non-residential use shall not occupy required off-street parking, loading or landscaping areas.

MODIFY SECTION 4.04 TO INCLUDE CARGO CONTAINERS AS PERMITTED ACCESSORY USES WITHIN THE AGRICULTURAL RESIDENTIAL DISTRICT

SECTION 4.04 PERMITTED ACCESSORY USES.

- A. Buildings and structures customarily incidental to the operation of an agricultural enterprise.
- B. Accessory buildings and structures customarily incidental to single family residential.
- C. Signs related to the permitted agricultural enterprise, provided that all such signs shall conform to the requirements of this Ordinance.
- D. House Hold Pets
- E. Cargo Containers, subject to Section 14.07

MODIFY SECTION 5.04 TO INCLUDE CARGO CONTAINERS AS PERMITTED ACCESSORY USES WITHIN THE RESEARCH AND TECHNOLOGY DISTRICT

Section 5.04 PERMITTED ACCESSORY USES

- A. Normal accessory uses to all permitted uses in Sections 5.02 and 5.03 above.
- B. Cargo Containers, see Section 14.07

MODIFY SECTION 8.04 TO INCLUDE CARGO CONTAINERS AS PERMITTED ACCESSORY USES WITHIN THE OFFICE SERVICE DISTRICT

Section 8.04 PERMITTED ACCESSORY USES.

- A. Normal accessory uses to “Permitted Principal Uses.”
- B. Normal accessory uses to approved “Permitted Principal Special Uses.”
- C. Incidental commercial services that serve only the occupants of the offices and have access only from inside the building in which the occupants are located.
- D. See Section 14.34.
- E. Cargo Containers, subject to Section 14.07

MODIFY SECTION 10.04 TO INCLUDE CARGO CONTAINERS AS PERMITTED ACCESSORY USES WITHIN THE REGIONAL SERVICE COMMERCIAL DISTRICT

Section 10.04 PERMITTED ACCESSORY USES.

- A. Normal accessory uses to all “Permitted Principal Uses.”
- B. Normal accessory uses to all “Permitted Principal Special Uses.” See Section 14.34. 14.
- C. Cargo Containers, subject to Section 14.07

MODIFY SECTION 11.04 TO INCLUDE CARGO CONTAINERS AS PERMITTED ACCESSORY USES WITHIN THE HIGHWAY SERVICE COMMERCIAL DISTRICT

Section 11.04 PERMITTED ACCESSORY USES.

- A. Normal accessory uses to all “Permitted Principal Uses.”
- B. Normal accessory uses to all “Permitted Principal Special Uses.”
- C. Cargo Containers, subject to Section 14.07

MODIFY SECTION 12.04 TO INCLUDE CARGO CONTAINERS AS PERMITTED ACCESSORY USES WITHIN THE INDUSTRIAL FLEX ZONE

Section 12.04 PERMITTED ACCESSORY USES.

- A. All normal accessory uses to all “Permitted Principal Uses” and “Permitted Principal Special Uses” including:
 - 1. Restaurants.
 - 2. Cafeterias.
 - 3. Medical and health care facilities.
 - 4. Office facilities.
 - 5. Warehouse and storage facilities.
 - 6. Physical fitness facilities.
 - 7. Work clothing sales and service facilities.
 - 8. Banking facilities.
 - 9. Education, library and training facilities.
 - 10. Research and experimentation facilities.
 - 11. Truck or other vehicular and equipment service maintenance, repair and storage facilities conducted completely within a building, or structure.

12. Indoor sales display areas.

13. See Section 14.34.

14. Cargo Containers, subject to Section 14.07

MODIFY SECTION 13.04 TO INCLUDE CARGO CONTAINERS AS PERMITTED ACCESSORY USES WITHIN THE INDUSTRIAL DISTRICT

Section 13.04 PERMITTED ACCESSORY USES.

A. Normal accessory uses to all Permitted Principal Uses.

B. Normal accessory uses to all Permitted Principal Special Uses.

C. See Section 14.34

D. Cargo Containers, see Section 14.07

SECTION 1 MODIFY SECTION 2.02 TO INCLUDE DWELLING, ACCESSORY TO DEFINITIONS

Dwelling, Accessory (ADU): A supplemental, smaller dwelling unit either developed within an existing single-family house (such as a basement, attic or addition) or as a smaller detached accessory building ~~in which at least a 15 foot wall is shared with the Principal Dwelling Unit.~~

SECTION 3 MODIFY SECTION 14.10 ACCESSORY BUILDING AS DWELLING TO INCLUDE BASEMENT AS DWELLING AND ADDITIONAL REGULATIONS

No building or structure on the same lot with a principal building shall be used for dwelling purposes, ~~except as follows: specifically permitted in this Ordinance.~~

Accessory dwelling units (ADU's), except as otherwise permitted in this Ordinance, shall be subject to Section 14.07 and the following regulations:

- A. **Authorization:** No ADU shall be established prior to the issuance of a land use permit for the ADU. The applicant shall submit the following information for review to the Zoning Administrator:
 1. A plot plan showing the location of the proposed accessory dwelling unit, lot identification (address and property number), size of lot, dimension of lot lines, existing improvements on the lot, location of structures on adjacent lots, abutting streets, driveways, and parking areas.
 2. Sufficient architectural drawings or clear photographs to show the exterior building alterations proposed.
 3. Interior floor plans showing the floor area of the proposed accessory dwelling unit and the primary dwelling.
- B. **Dimensions & Setbacks:** ADU's must meet lot dimensions and setbacks of the corresponding zoning district.
- C. **Lot Coverage:** ADU's shall adhere to the lot coverage requirements of the corresponding zoning district.
- ~~C.D.~~ **Floor Area:** The floor area of an ADU shall be no more than 25% of the floor area of the principle residence.
- ~~D.E.~~ **Amount of ADUs per Parcel:** No more than 1 ADU per parcel shall be constructed. ADUs are only permitted on lots with a single-family dwelling. ADUs are not permitted on parcels with existing duplexes/apartments.
- ~~E.F.~~ **Occupancy/Bedroom Requirements:** An ADU shall have no more than four (4) individuals including those less than 18 years of age residing and no more than two (2) bedrooms within the ADU.
- ~~F.G.~~ **Access:**
 1. Attached ADUs are permitted to have up to two access points where one is located in a common entrance foyer and the other is an exterior entrance located on the side or rear of the ADU.

2. Detached ADUs are permitted to have a main entrance located on the front of the dwelling and an additional side/rear yard entrance.

G-H. Design Characteristics: The ADU shall be designated so that the appearance of the building will remain that of a single-family dwelling. The ADU shall not detract from the appearance of the lot as a place of one (1) residence and shall be aesthetically compatible in appearance with other single-family dwellings in the immediate area based on architectural design and exterior materials.

H-I. Driveway and Parking: Shall provide a combined off-street parking for a minimum of four (4) automobiles for the parcel. An ADU shall not be permitted to have a separate driveway.

I-J. Renting an ADU: Leasing or renting an ADU for shorter than thirty (30) days is prohibited. The ADU shall not otherwise be made available to any one (1) person for periods less than thirty (30) days.

J-K. Utilities:

1. An ADU shall be connected to potable water and sanitary facilities in compliance with the Livingston County Health Department.
- ~~2. Utility service to an ADU shall rely on the same metering and service panel as those that serve the Primary Dwelling Unit except as otherwise required by the building inspector.~~

K-L. Garage: A garage may be erected to serve an ADU subject to the following requirements:

1. An ADU garage shall be part of the same structure as the ADU
2. An ADU garage shall be no greater than 450 square feet in gross floor area.
3. An ADU garage shall be no higher than seventeen (17) feet as measured to the highest point of the roof. Shall be a maximum of one (1) story and at no time taller than the L. Principal Dwelling Unit.
4. An ADU garage shall comply with the same setback standards as required for an ADU in the corresponding zoning district.
5. No more than one (1) ADU garage shall be erected on a lot.
6. At no time shall the garage be used as a dwelling.

L-M. Principal Dwelling Unit:

1. Must be owner occupied.
2. The Principal Dwelling Unit and the ADU must share common water, septic, and electric facilities, in compliance with state and county codes.
3. No basement structure shall be used for an ADU, unless a completed story is situated immediately above the basement structure and is used as an owner-occupied dwelling, apart from underground homes designed and built in accordance with the Construction Code in effect in the Township.

M-N. Detached ADU:

1. ~~Shall only be located in the rear yard, outside of rear and side setbacks with a minimum of 10 feet behind the Principal Dwelling Unit.~~ adhere to the locational requirements for an accessory structure.



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: June 20, 2024

Temporary Site Plan Review For Howell Township, Michigan

GENERAL INFORMATION

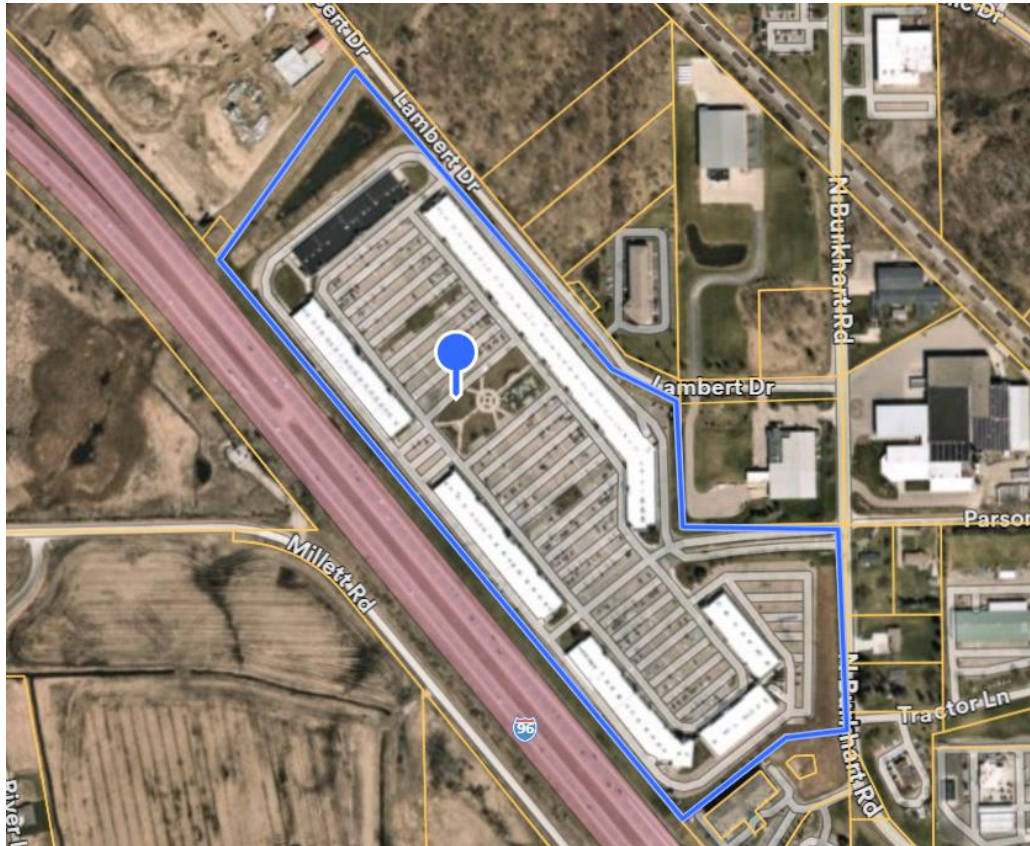
Applicant:	Galaxy Fireworks Ali Yahya 6 Ashby Dearborn, Michigan 48120
Application Date:	June 11, 2024
Location:	1475 N Burkhart Road
Zoning:	RSC – Regional Service Commercial
Action Requested:	Temporary Site Plan approval
Required Information:	Deficiencies are noted in the following sections of this review.

PROJECT AND SITE DESCRIPTION

The applicant is seeking a temporary use permit to install a temporary building and exterior canopies/tents to sell fireworks as outlined in Section 14.25 of the Ordinance. The proposal is to use a portion of the parking lot in front of the Adidas Outlet store, which is located on N Burkhart in the Tanger Outlets, located north of W I-96.

The proposed tent structure is twenty (20) feet by forty (40) feet in size and is to be located within the parking lot near the center of the parking. A temporary storage structure is also proposed, but no dimensional information is provided. The blue dot in the aerial image provided in figure 1. below indicates the proposed location for the tent.

Figure 1. Aerial Image of Subject Site and Vicinity



The temporary fireworks sales building and exterior tents are proposed to be set up June 20, 2024, and torn down by July 7th. The proposed days of operation are June 20, 2024, through July 4, 2024. The applicant has not specified their proposed daily hours of operation. The existing commercial facilities will remain open during the firework sales.

The sale of “Consumer Fireworks” is permitted through State Act 256 of 2011 “Consumer Fireworks” in the Act is defined as “*fireworks devices that are designed to produce visible effects by combustion...*” The applicant has applied for a permit from the State of Michigan.

Items to be Addressed: None.

FIRE SAFETY REVIEW

As required by the Act, the site and the structure housing the firework sales is required to meet certain fire safety conditions as required by National Fire Protection Association (NFPA) 101 and NFPA 1124. Specifically, due to the nature of the product being sold the Fire Marshal must review the site plan in regard to fire safety and provide communication to the Township.

Items to be Addressed: Consider Fire Marshal’s comments

PARKING AND CIRCULATION

The proposed temporary sales structure will be within the Tanger Outlets parking lot. It appears to be located within the centermost area of the lot. This use will also generate additional parking needs. Based on parking requirements for retail uses, the existing outlet has sufficient spaces, and the temporary sales trailer would require about five (5) spaces during its brief stay. Because the temporary building is located at the center of the site it is not expected to create circulation issues.

Items to be Addressed: *None.*

SIGNS

The applicant has not indicated that any exterior signs are proposed for the site. Per the Michigan Fireworks Safety Act 256 of 2011 Section 28.462 requires signage stating the smoking prohibition satisfies the requirements of NFPA 1124.

While the applicant has not given any indication of signage in their application, they should bear in mind that all signage must comply with Article 19, *Sign Regulations*, of the Zoning Ordinance. If any other signs are proposed for advertisement, a separate sign permit must be obtained from the Township.

Items to be Addressed: *1) Planning Commission to determine if additional exterior safety signs are to be required. 2) Applicant provides signage that complies with the Michigan Fireworks Safety Act and that satisfies the requirements of NFPA 1124. 3) If any other signs are proposed for advertisement purposes, a separate sign permit must be obtained from the Township.*

TEMPORARY USE

The applicant is seeking a temporary use permit as outlined in Section 14.25 of the Ordinance. Temporary uses are permitted in any district, provided that the Planning Commission determines the following to be true:

- *The location of such uses and their related activities will not adversely affect public health, safety, morals, and general welfare in the district in which it is to be temporarily located.*

The proposed use should not impact public health.

- *All temporary uses shall have a reasonable time limit placed upon their use based upon the normal periods of time such uses need to exist for their expressed purpose. The time limit shall be expressed in calendar dates for the number of days authorized by the Planning Commission.*

The applicant has proposed the time period for this use, but has not included proposed hours of operation. Once provided, if the Planning Commission believes these times are reasonable, they should place a condition upon the application that if the temporary use permit is approved, such approval expires on July 7, 2024.

- *Temporary uses may be granted on the basis of compliance with the criteria stated in Section 20.08 (Criteria for Site Plan Review).*

Items to Be Addressed: *Planning Commission should review the above criteria with the applicant and determine if there will be adverse impacts with this facility.*

RECOMMENDATIONS

The following items should be addressed by the applicant:

1. Comply with any conditions imposed by the Fire Marshal.
2. Provide exterior safety signage that complies with the Michigan Fireworks Safety Act and that satisfies the requirements of NFPA 1124.
3. Apply for a temporary sign permit if any exterior advertising signage is proposed.
4. Comply with conditions imposed by Planning Commission.
5. Provide documentation of final approval from State of Michigan.

We look forward to discussing this with you at the next Planning Commission meeting.



CARLISLE/WORTMAN ASSOC., INC.
Paul Montagno, AICP
Principal



CARLISLE/WORTMAN ASSOC., INC.
Grayson Moore
Community Planner

HOWELL TOWNSHIP
Application for Special Meeting
3525 Byron Road Howell, MI 48855
Phone: 517-546-2817 ext. 108
Email: inspector@howelltownshipmi.org

Fee: \$900.00

File No.: PC2024-08

Parcel ID #: 4706- <u>29 - 400 - 008</u>	Date <u>06/11/2024</u>
Applicant Name <u>Ali Yahya</u> Applicant Address <u>6 Ashby Ln Dearborn Mi 48120</u>	
Phone <u>313-266-0143</u> Fax _____ Email <u>Aliyahya68@icloud.com</u>	
Property Owner Name <u>Tanger Outlets</u>	
Phone <u>517-237-3798</u> Fax _____ Email <u>Kristy.Carr@tanger.com</u>	

<input type="checkbox"/> Township Board Meeting	<input checked="" type="checkbox"/> Township Planning Commission Meeting
Requested Meeting Date: <u>06/15/2024</u> Location of Property: <u>1475 N Burkhart Rd Howell Mi 48855</u>	
Project: _____	
Describe Reason for Requesting Meeting: Firework Display tent at 1475 N Burkhart Rd between June 20th to July 5th of 2024 year	

Meeting will be posted once payment is received

Final date will be determined by availability of hall and board members

HOWELL TOWNSHIP
Application for Site Plan Review
3525 Byron Road Howell, MI 48855
Phone: 517-546-2817 ext. 108
Email: inspector@howelltownshipmi.org

File # _____

Parcel ID #: 4706- <u>29</u> - <u>400</u> - <u>008</u>	Date <u>06/11/2024</u>
Applicant Name <u>Ali Yahya</u> Applicant Address <u>6 Ashby Ln Dearborn Mi 48120</u>	
Phone <u>313-266-0143</u> Fax _____ Email <u>Aliyahya68@icloud.com</u>	
Property Owner Name <u>Tanger Outlets</u>	
Phone <u>517-237-3798</u> Fax _____ Email <u>Kristy.Carr@tanger.com</u>	
Please list all recipients to receive information and/or reports:	
Name: _____ Email _____	
Name: _____ Email _____	
Name: _____ Email _____	

Location of Property <u>1475 N Burkhart Rd Howell Mi 48855</u>	Current Zoning Classification _____
Existing Use <u>Retail Outlet</u>	Proposed Use <u>Firework Dispaly Tent</u>

Check One:

- | | |
|---|--|
| <input type="checkbox"/> Preliminary Site Plan Review (20.06) | <input type="checkbox"/> Final Site Plan Review (20.07) |
| <input checked="" type="checkbox"/> Temporary Use (14.34) | <input type="checkbox"/> Commercial/Industrial Development |
| <input type="checkbox"/> Subdivision/Site Plan Condo | <input type="checkbox"/> Multi-Family/Condo |
| <input type="checkbox"/> Planned Unit Development (PUD) Type: | 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5 <input type="checkbox"/> |

Applicant needs to provide the following site plan drawings: four (4) full size copies, eight (8) - 11" x 17" copies, and an electronic set (either on an USB drive or provide an online link) for the preliminary site plan drawings. Drawings shall be submitted with an application for site plan review (20.06 a) thirty (30) days prior to the meeting.

The site plan is to contain the following information or the drawing submitted under the Land Use Permit can be utilized if it also contains the following information and is accurately drawn to scale:


- a. The date, north arrow and scale. The scale shall be not less than 1" = 20' for property under three (3) acres and at least 1" = 100' for those (3) acres or more.
- b. Statistical data including number of dwelling units, size of dwelling units, if any, and total gross acreage involved. In the case of a mobile home park, the size and location of each mobile home site shall be shown.
- c. The location and height of all existing and proposed structures on and within 100' of the subject property's boundary.
- d. All lot and/or property lines are to be shown and dimensioned, including building setback lines on corner lots.
- e. The location and dimensions of all existing and proposed drives, sidewalks, curb openings, signs, exterior lighting, curbing, parking areas (show dimensions of a typical parking space), unloading areas and recreation areas.
- f. Vehicular traffic and pedestrian circulation features within and without the site.
- g. The location of all proposed landscaping, fences, or walls.
- h. Size and location of existing and proposed utilities, including proposed connection to public sewer or water supply system.
- i. A location map indicating the relationship of the site to the surrounding land uses.
- j. The location and pavement width and right-of-way width of all abutting roads, streets, alleys, or easements.
- k. Show properties and respective zoning abutting the subject property.
- l. The location and size of all surface water drainage facilities.
- m. Contour intervals shall be shown at a maximum of 2' intervals, with 1' intervals preferred for topographic features of the site.

By signing below the applicant understands and acknowledges the following statements:

- a. The Planning Commission has sixty (60) days from filing date to approve or deny site plan.
- b. Approval of preliminary site plan is valid for a period of one (1) year from date of approval.
- c. A one (1) year extension may be granted upon written request of the applicant and approval by the Planning Commission.
- d. Approval of preliminary site plan shall expire one year after approval of final site plan unless zoning permit has been obtained.
- e. Approval of the final site plan expires six (6) months after approval unless a land use permit application is applied for and granted.

- f. The final site plan approval shall expire one (1) year following the date of approval unless construction has begun on the property in accordance with the plan.
- g. Applicant may appeal the Planning Commission's ruling of the final site plan to the Board of Appeals within ten (10) days of the Planning Commission's decision on all matters except use of the land, use of buildings, or structures.
- h. The Planning Commission has sixty (60) days from the date of the Planning Commission meeting at which the final site plan was received to approve or deny the final site plan.
- i. Improvements not in conformance with the final site plan shall be deemed a violation of the ordinance and be subject to the penalties of the ordinance.
- j. Sewer system and water system tap in fees, if applicable, must be paid prior to issuance of a land use permit.

Applicant hereby deposes and says that all the above statements and information contained in this application and any statements submitted herewith or on the site plan are true and accurate.



Owner Signature

Yousif Hassan

Print Name

06/11/2024

Date

Subscribed and sworn to before me this June day of 11, 2024.

Notary Public

wayne County, Michigan

My Commission Expires: _____, 20____.

Michigan Department of Licensing and Regulatory Affairs
BUREAU OF FIRE SERVICES
611 W. OTTAWA ST., 4TH FLOOR
LANSING, MI 48933

15052024

Yousif Hassan
Galaxy Fireworks

COMPLAINT INFORMATION:

THE ISSUANCE OF THIS LICENSE SHOULD NOT BE CONSTRUED AS A
WAIVER, DISMISSAL OR ACQUIESCENCE TO ANY COMPLAINTS OR
VIOLATIONS PENDING AGAINST THE LICENSEE, ITS AGENTS OR
EMPLOYEES.

FUTURE CONTACTS:

YOU SHOULD DIRECT INQUIRIES REGARDING THIS LICENSE
OR ADDRESS CHANGES TO THE DEPARTMENT OF LICENSING
AND REGULATORY AFFAIRS BY CALLING (517) 241-8847

YOUR LICENSE MUST BE DISPLAYED IN A PROMINENT PLACE.

GRETCHEN WHITMER
Governor

STATE OF MICHIGAN
Michigan Department of Licensing and Regulatory Affairs

TYPE OF CONSUMER FIREWORKS RETAIL FACILITY: TEMPORARY
ISSUED TO THIS CONSUMER FIREWORKS RETAIL FACILITY PURSUANT TO THE
MICHIGAN FIREWORKS SAFETY ACT, P.A. 256 OF 2011.

THIS CERTIFICATE REMAINS THE PROPERTY OF THE MICHIGAN DEPARTMENT OF
LICENSING AND REGULATORY AFFAIRS (LARA), AND IS TRANSFERABLE UNDER
CONDITIONS SPECIFIED IN MCL 28.454(6), MICHIGAN FIREWORKS SAFETY
ACT. THIS CERTIFICATE IS SUBJECT TO PAYMENT OF CERTIFICATE FEES FOR
INITIAL AND ANNUAL APPLICATION OR TRANSFER FEES.

Yousif Hassan
Galaxy Fireworks
1475 N BURKHART RD
HOWELL MI 48855

Certificate Number
CT02024

Expiration Date:
04/30/2025

This document is duly
issued under the laws of
the State of Michigan

1475 N Burkhart Rd Howell MI

Public ways: are within 150 feet of a public way

Buildings: are 200 feet from tent Other CFRS facilities: are distance of 20 feet or more

Motor vehicle fuel-dispensing station dispensers station is 65 feet away

Vehicle access and parking areas vehicles will be parked 28 feet away from tent

Storage of consumer fireworks are distance of 22 feet away Retail propane not applicable flammable above ground liquid tank storage applicable -flammable gas and liquefied gas which are above ground are not applicable to site

Old Navy Outlet
Clothing store

adidas Outlet
Sportswear store

K&W Outlet
Lumber store

JL Nails

June 20th - July 5th



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
04/29/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER BIBERK P.O. Box 113247 Stamford, CT 06911	CONTACT NAME:		
	PHONE (A/C, No, Ext):	844-472-0967	FAX (A/C, No): 203-654-3613
	E-MAIL ADDRESS:	customerservice@biBERK.com	
INSURED Wow Cakes LLC 10365 Haggerty Street Dearborn, MI 48126	INSURER(S) AFFORDING COVERAGE		NAIC #
	INSURER A:	Berkshire Hathaway Direct Insurance Company	10391
	INSURER B:		
	INSURER C:		
	INSURER D:		
	INSURER E:		
	INSURER F:		

COVERAGES CERTIFICATE NUMBER: REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

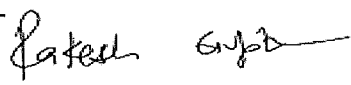
INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS			
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY			N9BP255458	04/24/2024	04/24/2025	EACH OCCURRENCE \$ 1,000,000			
	<input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR						DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 50,000			
	<input checked="" type="checkbox"/> Hired & Non-Owned Auto Only	X					MED EXP (Any one person) \$ 5,000			
	GEN'L AGGREGATE LIMIT APPLIES PER:									PERSONAL & ADV INJURY \$ Included
	<input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC									GENERAL AGGREGATE \$ 2,000,000
	<input checked="" type="checkbox"/> OTHER:									PRODUCTS - COMP/OP AGG \$ 2,000,000
	AUTOMOBILE LIABILITY						COMBINED SINGLE LIMIT (Ea accident) \$			
	<input type="checkbox"/> ANY AUTO						BODILY INJURY (Per person) \$			
	<input type="checkbox"/> OWNED AUTOS ONLY	<input type="checkbox"/>	<input type="checkbox"/> SCHEDULED AUTOS				BODILY INJURY (Per accident) \$			
	<input type="checkbox"/> HIRED AUTOS ONLY	<input type="checkbox"/>	<input type="checkbox"/> NON-OWNED AUTOS ONLY				PROPERTY DAMAGE (Per accident) \$			
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>				\$			
	UMBRELLA LIAB						EACH OCCURRENCE \$			
	<input type="checkbox"/> EXCESS LIAB	<input type="checkbox"/>	<input type="checkbox"/>				AGGREGATE \$			
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>				\$			
	DED		RETENTION \$							
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY						PER STATUTE <input type="checkbox"/> OTH-ER <input type="checkbox"/>			
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)	<input type="checkbox"/>	N/A				E.L. EACH ACCIDENT \$			
	If yes, describe under DESCRIPTION OF OPERATIONS below						E.L. DISEASE - EA EMPLOYEE \$			
	Professional Liability (Errors & Omissions): Claims-Made						E.L. DISEASE - POLICY LIMIT \$			
							Per Occurrence/Aggregate			

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Hired And Non-Owned Auto is included in the general liability policy limits (see endorsement attached).

Tanger Management LLC is listed as additional insured as it pertains to general liability (see endorsement attached).

CERTIFICATE HOLDER CANCELLATION

	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE 

ON-SITE AGREEMENT

THIS AGREEMENT is entered into this **May 17, 2024** by and between **Tanger Services, Inc.**, with an address of 3200 Northline Ave., Suite 360, Greensboro, North Carolina 27408 (“Tanger”), and **Wow Cakes LLC (DBA Galaxy Fireworks)** with an address of **10365 Haggerty Street, Dearborn, MI 48126** (“Client”); Tanger and Client may hereinafter be referred to as a “Party” or “Parties.”

WHEREAS, Tanger is the property manager for the Tanger Outlet Centers located throughout the United States and Canada.

1. Scope of Agreement. The Client will receive the deliverables for the scope and term of the agreement as detailed in the below chart:

Fireworks Tent Sale – 20 day contract, \$3,500 base rent with \$500 Security Deposit.

SET-UP ALLOWED June 17 – June 19

STATE INSPECTION - June 20

SALES PERIOD June 20 – July 4

TEAR DOWN AND CLEAN-UP July 5 – 7

WowCakes (DBA Galaxy Fireworks) shall use and occupy the area marked on site map for the retail sale and display of state-approved Class C, 1.4G Consumer Fireworks. WowCakes (DBA Galaxy Fireworks) will secure all necessary permits and approvals from local jurisdiction, state licensing and ensures compliance is met. WowCakes (DBA Galaxy Fireworks) to secure all product during activation period in a locked storage unit or stored off-site. Hours of operation will align with center hours daily depending on dates.

Tent - will be safely secured to the parking lot area without damaging the parking surface. during activation. WowCakes (DBA Galaxy Fireworks) is responsible for the tents and storage, including preparation for any weather issues including rain and wind.

At the conclusion of activation WowCakes (DBA Galaxy Fireworks) will ensure the area is cleaned and returned to previous condition.

Licensee shall use and occupy the Licensed area for the retail sale and display of state-approved Class C, 1.4G Consumer Fireworks. This license is contingent upon Licensee securing any local and state permits or licenses that may be required by law as well as meeting all terms and conditions of certificate.

Security deposit will be returned within 60 days of end of contract, pending no damage fees are applied.

Scope

Property	Product	Start Date	End Date	Qty
Howell Outlet Center	Parking Lot Activation	06/17/2024	07/07/2024	1
Total				\$3,500.00

2. Fees & Payment. Client will pay Tanger the sums outlined in the below chart plus taxes imposed or payable with respect to the fees on or before the dates as detailed in the chart. Payment obligations are not triggered or contingent upon Client’s receipt of invoice. Client’s payment will reference the contract ID number **M-0006613**. Client will remit payment to Tanger at the following address:

Tanger Services, Inc.
Attn: AR Marketing Partnerships **M-0006613**
P.O. Box 411546
Boston, MA 02241-1546

To Pay By Credit Card : Call the Tanger Accounts Receivable Department at (336) 834-6850 or (336) 856-6075, Mon – Fri 8 :00am – 5 :00pm (Eastern).

By Electronic Transfer :

Bank Name : Bank of America, NA
City/State : Charlotte, NC
Bank Routing # : Wire 026009593
Bank Routing # : ACH 053000196
Bank Account # : 237025468050

If Client fails to make any payment as outlined herein, Tanger will have no duty to fulfill Tanger’s obligations hereunder.

Fees

Due Date	Amount (\$)
06/14/2024	\$3,500.00
Total	\$3,500.00

3. Governing Law. This Agreement shall be governed by and construed under the laws of the state of which the Premises is located without regard to conflicts of laws principles.
4. General Requirements.
 - a) Client, its employees, agents, representatives and vendors, will comply with and act in accordance with all applicable federal, state and local laws, regulations, ordinances, codes and directives at all times throughout the Term, including but not limited to those rules and regulations applicable to the Shopping Center. Client will obtain and maintain, at its sole cost and expense, any and all permits, authorizations, and licenses necessary for it to operate under this Agreement and at the Premises, and upon request, shall make the same available to Tanger for inspection. Client shall comply with and enforce all federal, state, and local laws and regulations at all times. In the event any fine, penalty, sanction, action or fee (“Claim”) is assessed against either Client or Tanger for failure to comply with any provision of this section, Tanger shall have no liability therefore, and Client shall promptly notify Tanger of, pay, satisfy and resolve such Claim, and where appropriate, indemnify Tanger in full.
 - b) Client will comply with Tanger’s communicated Security Protocol and reasonable requests related to safety and security communicated by Tanger’s Security personnel.
 - c) Client will dress and act appropriately and so as not to likely cause harm to the reputation, goodwill, or business of Tanger or its tenants. If Client fails to comply with this section, in Tanger’s sole discretion, Tanger may immediately terminate this Agreement and cause Client to be removed from the Premises without liability and in addition to any other remedies available at law or in equity.
 - d) Following the completion of Client’s performance at an Event, Client will remove all materials and equipment, shall clean up the area in which it was performing, and shall dispose of any trash in the proper receptacles.
 - e) Client will not cause or undertake any action which may reasonably interfere with, disrupt, or hamper the ingress or egress of customers, patrons, invitees or other on or about the Premises. Client will not harass, pursue, solicit or inconvenience customers, patrons, invitees or others on or about the Premises, and will not interfere with, impede or otherwise disrupt Tanger’s business operations.
5. Delivery Conditions. Client agrees to accept the Premises in its “as is” condition at the time of entry and occupancy. Tanger shall not be responsible for supplying any items or materials to the Premises, other than as may otherwise be agreed to under this Agreement. Client agrees that, upon expiration of the Term of this Agreement, Premises shall be returned to Tanger in the same condition as it was in at the commencement of the Term of this Agreement, ordinary wear and tear excepted.
6. Insurance. Client agrees to maintain the below listed insurance coverage at all times during the term of the Agreement and/or any extensions or modifications thereof. The entities listed below shall be named as additional insureds on all such liability insurance policies. A copy of the Certificate of Insurance evidencing the required coverage hereunder shall be delivered to Tanger no less than seventy-two (72) hours prior to the Event recited hereunder.

GENERAL LIABILITY	Each Occurrence	\$ 1,000,000.00
	General Aggregate	\$ 2,000,000.00
	Property	\$ 1,000,000.00
AUTOMOBILE	\$ 1,000,000.00 Combined Single Limit	
WORKERS COMPENSATION	\$ 100,000 Employers Liability- Each Accident	
	\$ 100,000 Employers Liability-Disease Each Employee	
	\$ 500,000 Employers Liability- Disease Policy Limit	
ADDITIONAL INSURED	Tanger Services, Inc, and all related and affiliated entities are included as Additional Insureds.	

CERTIFICATE HOLDER Tanger Services, Inc.

**1475 N. Burkhart Road
Howell, MI 48855**

7. Hazardous Materials. Client is expressly prohibited from using the contracted areas to store, keep, hold or maintain any materials, items, substances or products which are prohibited by law or which otherwise might be considered dangerous or hazardous, or which may become dangerous or hazardous when exposed to the elements, including but not limited to, chemicals, bio-hazard materials, flammable or combustible materials or substances, or other products that might potentially compromise the health, safety and well-being of others.
8. Right To Enter. Client expressly understands and agrees that Tanger shall have free access to enter the contracted areas from time to time and as is reasonably necessary to inspect said contracted areas and for any repairs or maintenance as Tanger may deem is necessary. Nothing herein shall be construed as limiting or modifying in any way Client’s primary duty to keep the contracted areas in good repair and condition pursuant to this Agreement.
9. No Hold Over. Upon termination of this Agreement, Client shall vacate the contracted areas and remove all property, including but not limited to equipment and merchandise, in a reasonably expeditious manner. Client expressly agrees that under no circumstances shall Client hold over under this Agreement. Any property, merchandise, or equipment remaining on or in the contracted areas more than five (5) working days following the termination of this Agreement, shall be deemed abandoned, and Client expressly agrees that in such circumstance Tanger may dispose of or remove said property, without notice to Client, in Tanger’s sole discretion and by Tanger’s sole choice of method.
10. Right to Terminate.
 - a) Tanger may terminate this Agreement at any time, without cause and in its sole discretion, upon seventy-two (72) hours’ prior written notice to Client.
 - b) Either party shall have the right to terminate this Agreement by providing written notice if the other party is in breach of a material term of this Agreement, and the breaching party has failed to promptly cure such breach after written notice thereof from the non-breaching party;

provided that the foregoing cure right shall not apply to any breach by Client involving violation of any law, rule, regulation, license or permit applicable to Client.

- c) Either party shall have the right to terminate this Agreement with immediate effect if the other party becomes insolvent, makes a general assignment for the benefit of creditors, files a voluntary petition for bankruptcy, suffers or permits the appointment of a receiver for its business or assets, or becomes subject to any proceeding under any bankruptcy or insolvency law. In the event that any of the foregoing events occurs, the party so affected shall immediately notify the other party of such occurrence.
11. Force Majeure. With the exception of payment obligations, each Party shall be excused from performing its obligations under this Agreement if its performance is delayed or prevented by any event beyond such Party's reasonable control and without its fault or negligence, including, but not limited to, acts of God, acts of the public enemy, insurrections, riots, embargoes, labor disputes, including strikes, lockouts, job actions or boycotts, fires, explosions or floods, provided that such performance shall be excused only to the extent of, and during the reasonably unavoidable continuance of, such disability that cannot be mitigated by the reasonable actions of the delayed Party.
 12. Default. The occurrence of any of the following constitutes a breach by Client for which Tanger may seek remedy:
 - a) Client fails to make a payment when due within ten (10) days of receiving written notice of such non-payment from Tanger;
 - b) Client is in default under a valid Lease Agreement or License Agreement entered into with an affiliate entity of Tanger, or any other agreement entered into with Tanger;
 - c) Client fails to observe or perform any of the express or implied covenants, promises, agreements, obligations, or provisions of this Agreement;
 - d) Client commits an act of negligence or willful misconduct with respect to its obligations outlined herein; or
 - e) Client institutes any proceedings under the Bankruptcy Reform Act of 1978 (11 USC § 101 1330) as now or hereafter amended or recodified, or any similar or superseding statute, law or code, whether in such proceeding. Client seeks to be adjudicated a bankrupt or be discharged of its debts or to affect a plan of liquidation, composition or reorganization; or should any involuntary proceeding be filed against Client under any applicable bankruptcy laws; or should Client become insolvent or be adjudicated a bankrupt in any court of competent jurisdiction, or should a receiver or trustee be appointed over Client's property, or should Client make an assignment for the benefit of creditors.
 13. Notices: Any notice required hereunder shall be delivered to a Party in writing at the address stated herein via a nationally recognized courier, with a signature required upon receipt. Each Party is responsible for promptly notifying the other Party of any change in address.
 14. Remedies. In the event of Client's breach under this Agreement in addition to any other rights or remedies available at law or in equity Tanger may (1) immediately terminate this Agreement upon written notification to Client; (2) exercise self-help and remove or cease to display all advertising of Client; and (3) declare any outstanding amounts owed to Tanger to be immediately due and payable.
 15. Business Ethics Standards. Client shall maintain business ethics standards to avoid any impropriety or conflict of interest, or the appearance of any impropriety or conflict of interest, which could be construed to have an adverse impact on Tanger. Client shall take reasonable actions to prevent any

actions or conditions which could result in a conflict with Tanger's stated interests under this Agreement. Kickbacks, cash payments, commissions, gifts, entertainment substantially discounted work, or other consideration as between Client and its representatives, agents or employees or their relatives or material suppliers or contractors or their employees or representatives which would be illegal, reasonably considered to be unethical, or done for the purposes of giving preferential treatment, is prohibited. By its execution of this Agreement, Client hereby certifies that it is generally familiar with the Tanger Factory Outlet Centers, Inc. Code of Business Conduct and Ethics adopted March 12, 2004, and as amended, and available at www.tangeroutlet.com by clicking on the links to Investor Relations/Corporate Overview/ Governance Documents/Code of Business Conduct and Ethics ("Tanger Ethics Code.") Client shall, and shall cause all of its employees, agents and contractors to, comply with all policies, requirements, and guidelines set forth in the Tanger Ethics Code in all respects pertinent to its dealings with Tanger and/or any affiliate thereof during the Term.

16. Condemnation. If, during the Term, the Premises where Client's advertisement or signage, vehicles and/or pods are located is taken by eminent domain or otherwise by any governmental authority to any material extent such that the Premises can no longer reasonably be effectively utilized and there is no other similarly situated space which may be substituted, then Tanger or Client may terminate this Agreement on five (5) days' prior written notice to the other Party. Any award for the taking of all or any part of the Premises will belong to Tanger, without any participation by Client.
17. Warranties and Representations. Client warrants and represents, and shall indemnify and hold harmless Tanger from any claims, liabilities, damages, causes of action, losses, lawsuits or expenses arising out of or resulting from Client's violation or breach of these warranties or representations, that (1) Client is duly authorized and permitted to enter into this Agreement and that said Agreement shall be binding on Client; (2) Client's actions and performance pursuant to this Agreement shall not violate any other agreements with or rights of third parties; and (3) Client is vested with the legal right to use or possess the name, logo, image, or other design or content included within Client's advertisement.
18. Indemnification. To the fullest extent permitted by law, Client agrees to defend, indemnify and hold harmless Tanger and its affiliated and associated corporate entities, employees, officers, directors, and representatives from any and all liability, claims, lawsuits, causes of action, judgments, costs or damages (including reasonable attorneys' fees and court costs), whether for personal injury, death, property damage, monetary damages or other loss, resulting from or arising out of (a) use and/or occupancy of the Premises, or engagement in the Scope hereunder, including but not limited to personal injury, loss of life or limb, and/or property damage, destruction, or theft, whether caused by Client, its employees, agents, representatives or vendors or (b) any violation or beach of any term of this Agreement.
19. Liability. To the fullest extent permitted by law, Tanger shall not be liable for any loss, damage, theft, destruction, claim, injury or death, whether to person or property or alleged by a third party, arising out of or related to Client's performance under this Agreement, and Client hereby releases and discharges Tanger its agents, assigns, affiliates, managers, employees and representatives ("Released Parties"), from any and all liability hereunder. Neither Party shall be liable to the other for consequential, special or incidental damages.
20. Prevailing Party. If there is any legal action or proceeding to enforce or interpret any provision of this Agreement or to protect or establish any right or remedy of any Party hereto, the unsuccessful party to such action or proceeding shall pay to the prevailing party as finally determined, all costs and expenses, including, without limitation, reasonable attorneys' fees and costs, incurred by such

prevailing party in such action or proceeding, in enforcing such judgment, and in connection with any appeal from such judgment.

21. Assignment. Client may not assign this Agreement without the prior written consent of Tanger. Tanger may, without the consent of Client, assign the Agreement to an affiliate or subsidiary entity or a purchaser of all or substantially all of that party's assets, and may additionally assign this Agreement to a lender, purchaser, or transferee of any interest in the real property upon which the advertising or applicable Collateral, vehicles or pods is placed. In the event of any such transfer, Tanger will automatically be released from all liability under this Agreement accruing thereafter and Client agrees to look solely to such transferee for the performance of Tanger's obligations hereunder on or after the date of transfer, and such transferee will be deemed to have fully assumed and be liable for all obligations of this Agreement and Client will attorn to such transferee.
22. No Waiver. Cumulative Remedies. No failure or delay in exercising any right hereunder will operate as a waiver thereof, nor will any single or partial exercise thereof preclude any other or further exercise thereof or the exercise of any other right. No waiver shall be effective unless agreed upon in writing by the Parties. The acceptance of any Fees or any other amount due hereunder by Tanger following the occurrence of any Client default, will not be deemed a waiver of any such default. Remedies available to any Party shall be deemed cumulative and not exclusive, even if such available remedies are set forth or specified within this Agreement.
23. No Partnership or Agency. None of the terms or provisions of this Agreement shall be deemed to create a partnership between or among the Parties in their respective businesses or otherwise, nor shall it cause them to be considered joint venturers or members of any joint enterprise. No Party shall have the right or authority to act as an agent for or to bind the other Party. The Parties acknowledge and agree that nothing in this Agreement shall be construed as creating a landlord/tenant relationship between Client and Tanger.
24. Severability. Should any provision of this Agreement be held by a court of competent jurisdiction to be void, invalid, unenforceable or inoperative, the remaining provisions of this Agreement shall not be affected and shall continue in force and effect and the invalid provision shall be deemed modified to the least degree necessary to remedy such invalidity. If the invalid provision cannot be modified to remedy the invalidity, and the absence of the provision adversely affects the substantive rights of a party, the parties agree to replace the provision with a new provision that closely approximates the economic and proprietary results intended by the parties.
25. Entire Agreement. This Agreement represents the final and complete agreement between the parties, and all prior discussions and agreements are merged herein. Modification. No portion of this Agreement may be amended, in whole or in part, unless in writing and signed by both parties.
26. Counterparts. This Agreement may be executed in counterpart copies, each of which shall be deemed an original and all of which together shall be deemed one and the same instrument. Electronically delivered signatures or shall have the same force and effect as originals.

Signatures to appear on the following page

IN WITNESS WHEREOF, each party hereto warrants and represents that this Agreement has been duly authorized by all necessary corporate action and that this Agreement has been duly executed by and constitutes a valid and binding agreement of that party.

TANGER

Tanger Services Inc.

By: _____

Name: Jessica Roberts

Title: VP, Marketing Partnerships

CLIENT

Wow Cakes LLC (DBA Galaxy Fireworks)

By:  _____

Name: Ali Yahya

Title: owner

Yousif Hassan
Galaxy Fireworks

COMPLAINT INFORMATION:

THE ISSUANCE OF THIS LICENSE SHOULD NOT BE CONSTRUED AS A
WAIVER, DISMISSAL OR ACQUIESCENCE TO ANY COMPLAINTS OR
VIOLATIONS PENDING AGAINST THE LICENSEE, ITS AGENTS OR
EMPLOYEES.

FUTURE CONTACTS:

YOU SHOULD DIRECT INQUIRIES REGARDING THIS LICENSE
OR ADDRESS CHANGES TO THE DEPARTMENT OF LICENSING
AND REGULATORY AFFAIRS BY CALLING (517) 241-8847

YOUR LICENSE MUST BE DISPLAYED IN A PROMINENT PLACE.

GRETCHEN WHITMER
Governor

STATE OF MICHIGAN
Michigan Department of Licensing and Regulatory Affairs

TYPE OF CONSUMER FIREWORKS RETAIL FACILITY: TEMPORARY
ISSUED TO THIS CONSUMER FIREWORKS RETAIL FACILITY PURSUANT TO THE
MICHIGAN FIREWORKS SAFETY ACT, P.A. 256 OF 2011.

THIS CERTIFICATE REMAINS THE PROPERTY OF THE MICHIGAN DEPARTMENT OF
LICENSING AND REGULATORY AFFAIRS (LARA), AND IS TRANSFERABLE UNDER
CONDITIONS SPECIFIED IN MCL 28.454(B), MICHIGAN FIREWORKS SAFETY
ACT. THIS CERTIFICATE IS SUBJECT TO PAYMENT OF CERTIFICATE FEES FOR
INITIAL AND ANNUAL APPLICATION OR TRANSFER FEES.

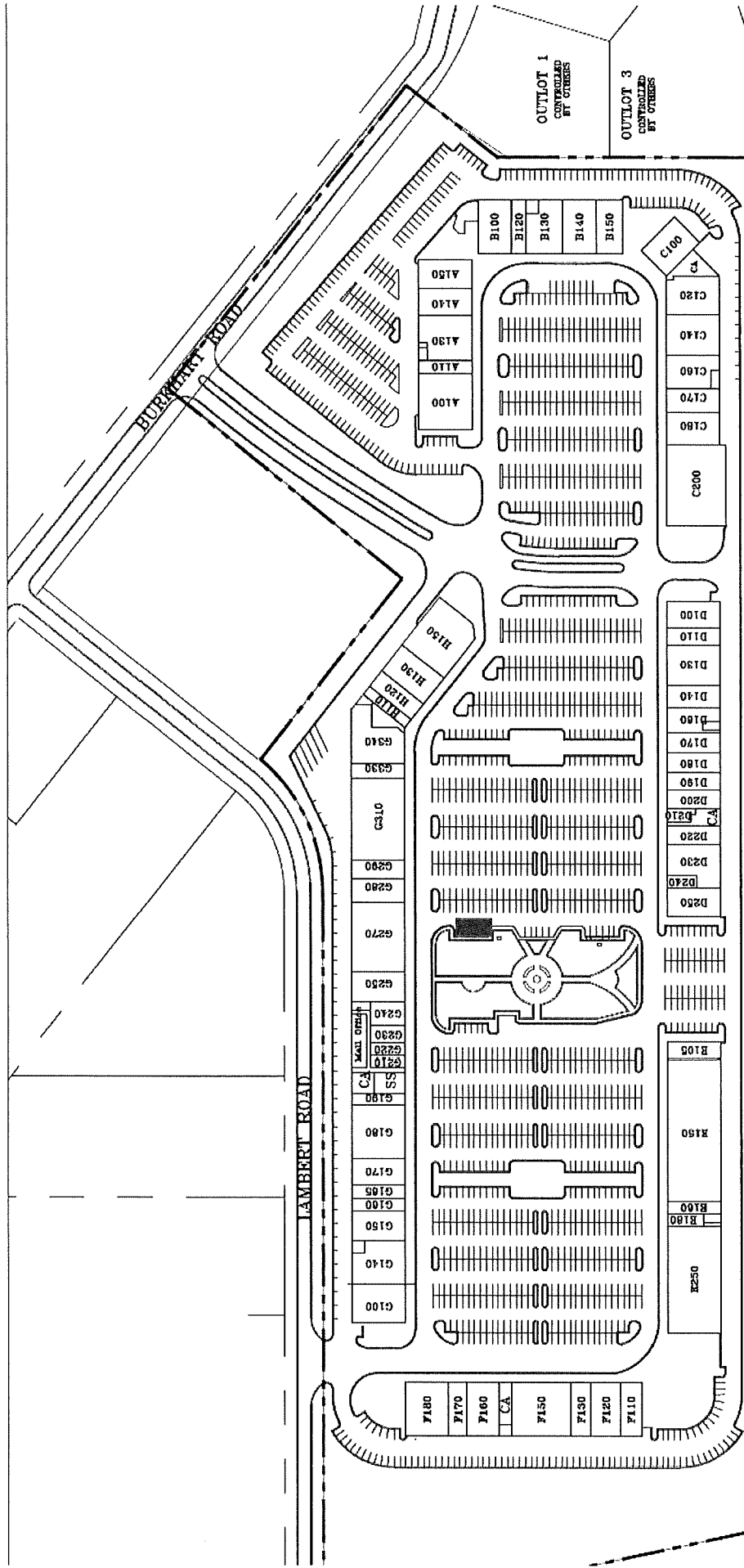
Yousif Hassan
Galaxy Fireworks
1475 N BURKHART RD
HOWELL MI 48855

Certificate Number
CT02024

Expiration Date:
04/30/2025

This document is duly
issued under the laws of
the State of Michigan

Tanger Outlet Center – Howell, MI



Proposed location for WowCakes (DBA Galaxy Fireworks) for one 20' x 40' Tent and one Storage unit. All use will be on parking lot.



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
04/29/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER BIBERK P.O. Box 113247 Stamford, CT 06911	CONTACT NAME: PHONE (A/C, No, Ext): 844-472-0967 FAX (A/C, No): 203-654-3613 E-MAIL ADDRESS: customerservice@biBERK.com	
	INSURER(S) AFFORDING COVERAGE	
INSURED Wow Cakes LLC 10365 Haggerty Street Dearborn, MI 48126	INSURER A: Berkshire Hathaway Direct Insurance Company	NAIC # 10391
	INSURER B:	
	INSURER C:	
	INSURER D:	
	INSURER E:	
	INSURER F:	

COVERAGES CERTIFICATE NUMBER: REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.


INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY			N9BP255458	04/24/2024	04/24/2025	EACH OCCURRENCE	\$ 1,000,000
	<input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR						DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 50,000
	<input checked="" type="checkbox"/> Hired & Non-Owned Auto Only	X					MED EXP (Any one person)	\$ 5,000
	GEN'L AGGREGATE LIMIT APPLIES PER:						PERSONAL & ADV INJURY	\$ Included
	<input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC						GENERAL AGGREGATE	\$ 2,000,000
	<input checked="" type="checkbox"/> OTHER:						PRODUCTS - COMP/OP AGG	\$ 2,000,000
	AUTOMOBILE LIABILITY						COMBINED SINGLE LIMIT (Ea accident)	\$
	<input type="checkbox"/> ANY AUTO						BODILY INJURY (Per person)	\$
	<input type="checkbox"/> OWNED AUTOS ONLY	<input type="checkbox"/>	<input type="checkbox"/> SCHEDULED AUTOS				BODILY INJURY (Per accident)	\$
	<input type="checkbox"/> HIRED AUTOS ONLY	<input type="checkbox"/>	<input type="checkbox"/> NON-OWNED AUTOS ONLY				PROPERTY DAMAGE (Per accident)	\$
	<input type="checkbox"/> AUTOS ONLY	<input type="checkbox"/>	<input type="checkbox"/>					\$
	UMBRELLA LIAB						EACH OCCURRENCE	\$
	<input type="checkbox"/> EXCESS LIAB	<input type="checkbox"/>	<input type="checkbox"/> OCCUR				AGGREGATE	\$
	<input type="checkbox"/> DED	<input type="checkbox"/>	<input type="checkbox"/> CLAIMS-MADE					\$
	<input type="checkbox"/> RETENTION \$	<input type="checkbox"/>						\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY						PER STATUTE	OTH-ER
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)	<input type="checkbox"/>	N/A				E.L. EACH ACCIDENT	\$
	If yes, describe under DESCRIPTION OF OPERATIONS below						E.L. DISEASE - EA EMPLOYEE	\$
	Professional Liability (Errors & Omissions): Claims-Made						E.L. DISEASE - POLICY LIMIT	\$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Hired And Non-Owned Auto is included in the general liability policy limits (see endorsement attached).

Tanger Management LLC is listed as additional insured as it pertains to general liability (see endorsement attached).

CERTIFICATE HOLDER CANCELLATION

Tanger Management LLC 1475 N Burkhardt Rd Howell, MI 48855	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 
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CERTIFICATE OF PROPERTY INSURANCE

DATE (MM/DD/YYYY)
04/29/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

PRODUCER BIBERK P.O. Box 113247 Stamford, CT 06911	CONTACT NAME: PHONE (A/C, No, Ext): (844) 472-0967 FAX (A/C, No): (203) 654-3613 E-MAIL ADDRESS: salessupport@biberk.com PRODUCER CUSTOMER ID:														
INSURED Wow Cakes LLC 10365 Haggerty Street Dearborn, MI 48126	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 80%;">INSURER(S) AFFORDING COVERAGE</th> <th style="width: 20%;">NAIC #</th> </tr> <tr> <td>INSURER A : Berkshire Hathaway Direct Insurance Compar</td> <td>722320</td> </tr> <tr> <td>INSURER B :</td> <td></td> </tr> <tr> <td>INSURER C :</td> <td></td> </tr> <tr> <td>INSURER D :</td> <td></td> </tr> <tr> <td>INSURER E :</td> <td></td> </tr> <tr> <td>INSURER F :</td> <td></td> </tr> </table>	INSURER(S) AFFORDING COVERAGE	NAIC #	INSURER A : Berkshire Hathaway Direct Insurance Compar	722320	INSURER B :		INSURER C :		INSURER D :		INSURER E :		INSURER F :	
INSURER(S) AFFORDING COVERAGE	NAIC #														
INSURER A : Berkshire Hathaway Direct Insurance Compar	722320														
INSURER B :															
INSURER C :															
INSURER D :															
INSURER E :															
INSURER F :															

COVERAGES CERTIFICATE NUMBER: **REVISION NUMBER:**

LOCATION OF PREMISES / DESCRIPTION OF PROPERTY (Attach ACORD 101, Additional Remarks Schedule, if more space is required)
 Location: 10365 Haggerty Street Dearborn, MI 48126
 Bldg #001: Catering Services - 1103901

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YYYY)	POLICY EXPIRATION DATE (MM/DD/YYYY)	COVERED PROPERTY	LIMITS	
<input checked="" type="checkbox"/>	PROPERTY	N9BP255458	04/24/2024	04/24/2025	BUILDING	\$ 0	
	CAUSES OF LOSS				DEDUCTIBLES	PERSONAL PROPERTY	\$ 0
	BASIC				BUILDING	BUSINESS INCOME	\$ *
	BROAD				250	EXTRA EXPENSE	\$ *
	SPECIAL				CONTENTS	RENTAL VALUE	\$
	EARTHQUAKE					BLANKET BUILDING	\$ n/a
	WIND					BLANKET PERS PROP	\$ n/a
	FLOOD					BLANKET BLDG & PP	\$ n/a
					\$		
					\$		
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					\$		
					\$		
					\$		
					\$		
					\$		
					\$		
					\$		
					\$		

SPECIAL CONDITIONS / OTHER COVERAGES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

* ALS up to 12 months.

CERTIFICATE HOLDER Tanger Management LLC 1475 N Burkhart Rd Howell, MI 48855	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE <i>[Signature]</i>
--	---

THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.

HIRED AUTO AND NON-OWNED AUTO LIABILITY

This endorsement modifies insurance provided under the following:

BUSINESSOWNERS COVERAGE FORM

SCHEDULE

Coverage	Additional Premium
A. Hired Auto Liability	\$51.00
B. Non-owned Auto Liability	\$89.00
Information required to complete this Schedule, if not shown above, will be shown in the Declarations.	

A. Insurance is provided only for those coverages for which a specific premium charge is shown in the Declarations or in the Schedule.

1. Hired Auto Liability

The insurance provided under Paragraph A.1. **Business Liability** in **Section II – Liability** applies to "bodily injury" or "property damage" arising out of the maintenance or use of a "hired auto" by you or your "employees" in the course of your business.

2. Non-owned Auto Liability

The insurance provided under Paragraph A.1. **Business Liability** in **Section II – Liability** applies to "bodily injury" or "property damage" arising out of the use of any "non-owned auto" in your business by any person.

B. For insurance provided by this endorsement only:

1. The exclusions under Paragraph B.1. **Applicable To Business Liability Coverage** in **Section II – Liability**, other than Exclusions a., b., d., f. and i. and the **Nuclear Energy Liability Exclusion**, are deleted and replaced by the following:

a. "Bodily injury" to:

- (1) An "employee" of the insured arising out of and in the course of:
 - (a) Employment by the insured; or
 - (b) Performing duties related to the conduct of the insured's business; or

(2) The spouse, child, parent, brother or sister of that "employee" as a consequence of Paragraph (1) above.

This exclusion applies:

- (1) Whether the insured may be liable as an employer or in any other capacity; and
- (2) To any obligation to share damages with or repay someone else who must pay damages because of injury.

This exclusion does not apply to:

- (1) Liability assumed by the insured under an "insured contract"; or
- (2) "Bodily injury" arising out of and in the course of domestic employment by the insured unless benefits for such injury are in whole or in part either payable or required to be provided under any workers' compensation law.

b. "Property damage" to:

- (1) Property owned or being transported by, or rented or loaned to the insured; or
- (2) Property in the care, custody or control of the insured.

2. Paragraph C. Who Is An Insured in Section II – Liability is replaced by the following:

1. Each of the following is an insured under this endorsement to the extent set forth below:

- a. You;
- b. Any other person using a "hired auto" with your permission;
- c. For a "non-owned auto":
 - (1) Any partner or "executive officer" of yours; or
 - (2) Any "employee" of yours; but only while such "non-owned auto" is being used in your business; and
- d. Any other person or organization, but only for their liability because of acts or omissions of an insured under a., b. or c. above.

2. None of the following is an insured:

- a. Any person engaged in the business of his or her employer for "bodily injury" to any co-"employee" of such person injured in the course of employment, or to the spouse, child, parent, brother or sister of that co-"employee" as a consequence of such "bodily injury", or for any obligation to share damages with or repay someone else who must pay damages because of the injury;
- b. Any partner or "executive officer" for any "auto" owned by such partner or officer or a member of his or her household;

c. Any person while employed in or otherwise engaged in duties in connection with an "auto business", other than an "auto business" you operate;

d. The owner or lessee (of whom you are a sublessee) of a "hired auto" or the owner of a "non-owned auto" or any agent or "employee" of any such owner or lessee; or

e. Any person or organization for the conduct of any current or past partnership or joint venture that is not shown as a Named Insured in the Declarations.

C. For the purposes of this endorsement only, Paragraph H. Other Insurance in Section III – Common Policy Conditions is replaced by the following:

This insurance is excess over any primary insurance covering the "hired auto" or "non-owned auto".

D. The following additional definitions apply:

1. "Auto business" means the business or occupation of selling, repairing, servicing, storing or parking "autos".

2. "Hired auto" means any "auto" you lease, hire, rent or borrow. This does not include any "auto" you lease, hire, rent or borrow from any of your "employees", your partners or your "executive officers" or members of their households.

3. "Non-owned auto" means any "auto" you do not own, lease, hire, rent or borrow which is used in connection with your business. This includes "autos" owned by your "employees", your partners or your "executive officers", or members of their households, but only while used in your business or your personal affairs.

THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.

ADDITIONAL INSURED – DESIGNATED PERSON OR ORGANIZATION

This endorsement modifies insurance provided under the following:

BUSINESSOWNERS COVERAGE FORM

SCHEDULE

Name Of Additional Insured Person(s) Or Organization(s):
Tanger Management LLC
Information required to complete this Schedule, if not shown above, will be shown in the Declarations.

The following is added to Paragraph **C. Who Is An Insured** in **Section II – Liability**:

- Any person(s) or organization(s) shown in the Schedule is also an additional insured, but only with respect to liability for "bodily injury", "property damage" or "personal and advertising injury" caused, in whole or in part, by your acts or omissions or the acts or omissions of those acting on your behalf in the performance of your ongoing operations or in connection with your premises owned by or rented to you.

Certificate Of Completion

Envelope Id: 9609DDD9784C40AD8A57719FD907F730
Subject: Tanger HOWELL M-0006613 Wow Cakes On-Site Agreement
Source Envelope:
Document Pages: 15
Certificate Pages: 5
AutoNav: Enabled
Enveloped Stamping: Disabled
Time Zone: (UTC-05:00) Eastern Time (US & Canada)

Status: Sent

Envelope Originator:
Kathryn Reisterer
3200 Northline Av.
Suite 360
Greensboro, NC 27408
Katy.Reisterer@tanger.com
IP Address: 13.110.74.8

Record Tracking

Status: Original
5/17/2024 11:58:53 AM
Holder: Kathryn Reisterer
Katy.Reisterer@tanger.com
Location: DocuSign

Signer Events

Ali Yahya
alياهو68@icloud.com
Owner
Security Level: Email, Account Authentication
(None)

Signature

[Handwritten Signature]

Signature Adoption: Drawn on Device
Using IP Address: 174.211.32.187
Signed using mobile

Timestamp

Sent: 5/20/2024 10:57:12 AM
Viewed: 5/20/2024 10:57:52 AM
Signed: 5/20/2024 11:11:48 AM

Electronic Record and Signature Disclosure:
Accepted: 5/20/2024 10:57:52 AM
ID: 95be9dd9-bfc6-4a94-afc3-76cdb168b30d

Jessica Roberts
jessica.roberts@tanger.com
VP, Marketing Partnerships
Tanger Management, LLC
Security Level: Email, Account Authentication
(None)

Sent: 5/20/2024 11:11:50 AM

Electronic Record and Signature Disclosure:
Not Offered via DocuSign

In Person Signer Events Signature Timestamp

Editor Delivery Events Status Timestamp

Agent Delivery Events Status Timestamp

Intermediary Delivery Events Status Timestamp

Certified Delivery Events Status Timestamp

Kevin De Ceuninck
kevin.deceuninck@tanger.com
Security Level: Email, Account Authentication
(None)

VIEWED

Using IP Address: 66.193.69.12

Sent: 5/17/2024 11:59:25 AM
Viewed: 5/20/2024 6:57:21 AM

Electronic Record and Signature Disclosure:
Not Offered via DocuSign

Certified Delivery Events

Oliver Runco
 oliver.runco@tanger.com
 Regional Manager of Marketing Partnerships
 Tri Star Southern Hills
 Security Level: Email, Account Authentication
 (None)

Electronic Record and Signature Disclosure:
 Not Offered via DocuSign

Status

VIEWED

Using IP Address: 66.193.69.12

Timestamp

Sent: 5/20/2024 6:57:21 AM
 Viewed: 5/20/2024 9:20:28 AM

sarah rasheid
 sarah.rasheid@tanger.com
 Marketing Partnerships, Regional Manager, North
 Tanger Management, LLC
 Security Level: Email, Account Authentication
 (None)

Electronic Record and Signature Disclosure:
 Accepted: 5/25/2022 12:57:49 PM
 ID: 581b579d-e058-4977-b3f2-2faf19fa3d13

VIEWED

Using IP Address: 66.193.69.12

Sent: 5/20/2024 9:20:28 AM
 Viewed: 5/20/2024 10:57:11 AM

Carbon Copy Events

Ali Yahya
 aliyahya68@icloud.com
 Security Level: Email, Account Authentication
 (None)

Electronic Record and Signature Disclosure:
 Accepted: 5/20/2024 10:57:52 AM
 ID: 95be9dd9-bfc6-4a94-afc3-76cdb168b30d

Status**Timestamp**

how
 tangerhowellmanagement@tanger.com
 Security Level: Email, Account Authentication
 (None)
Electronic Record and Signature Disclosure:
 Not Offered via DocuSign

Witness Events**Signature****Timestamp****Notary Events****Signature****Timestamp****Envelope Summary Events****Status****Timestamps**

Envelope Sent

Hashed/Encrypted

5/17/2024 11:59:25 AM

Payment Events**Status****Timestamps****Electronic Record and Signature Disclosure**

ELECTRONIC RECORD AND SIGNATURE DISCLOSURE

From time to time, Tanger Management, LLC (we, us or Company) may be required by law to provide to you certain written notices or disclosures. Described below are the terms and conditions for providing to you such notices and disclosures electronically through the DocuSign system. Please read the information below carefully and thoroughly, and if you can access this information electronically to your satisfaction and agree to this Electronic Record and Signature Disclosure (ERSD), please confirm your agreement by selecting the check-box next to 'I agree to use electronic records and signatures' before clicking 'CONTINUE' within the DocuSign system.

Getting paper copies

At any time, you may request from us a paper copy of any record provided or made available electronically to you by us. You will have the ability to download and print documents we send to you through the DocuSign system during and immediately after the signing session and, if you elect to create a DocuSign account, you may access the documents for a limited period of time (usually 30 days) after such documents are first sent to you. After such time, if you wish for us to send you paper copies of any such documents from our office to you, you will be charged a \$0.00 per-page fee. You may request delivery of such paper copies from us by following the procedure described below.

Withdrawing your consent

If you decide to receive notices and disclosures from us electronically, you may at any time change your mind and tell us that thereafter you want to receive required notices and disclosures only in paper format. How you must inform us of your decision to receive future notices and disclosure in paper format and withdraw your consent to receive notices and disclosures electronically is described below.

Consequences of changing your mind

If you elect to receive required notices and disclosures only in paper format, it will slow the speed at which we can complete certain steps in transactions with you and delivering services to you because we will need first to send the required notices or disclosures to you in paper format, and then wait until we receive back from you your acknowledgment of your receipt of such paper notices or disclosures. Further, you will no longer be able to use the DocuSign system to receive required notices and consents electronically from us or to sign electronically documents from us.

All notices and disclosures will be sent to you electronically

Unless you tell us otherwise in accordance with the procedures described herein, we will provide electronically to you through the DocuSign system all required notices, disclosures, authorizations, acknowledgements, and other documents that are required to be provided or made available to you during the course of our relationship with you. To reduce the chance of you inadvertently not receiving any notice or disclosure, we prefer to provide all of the required notices and disclosures to you by the same method and to the same address that you have given us. Thus, you can receive all the disclosures and notices electronically or in paper format through the paper mail delivery system. If you do not agree with this process, please let us know as described below. Please also see the paragraph immediately above that describes the consequences of your electing not to receive delivery of the notices and disclosures electronically from us.

How to contact Tanger Management, LLC:

You may contact us to let us know of your changes as to how we may contact you electronically, to request paper copies of certain information from us, and to withdraw your prior consent to receive notices and disclosures electronically as follows:

To advise Tanger Management, LLC of your new email address

To let us know of a change in your email address where we should send notices and disclosures electronically to you, you must send an email message to us at info@tangermanagement.com and in the body of such request you must state: your previous email address, your new email address. We do not require any other information from you to change your email address.

If you created a DocuSign account, you may update it with your new email address through your account preferences.

To request paper copies from Tanger Management, LLC

To request delivery from us of paper copies of the notices and disclosures previously provided by us to you electronically, you must send us an email to info@tangermanagement.com and in the body of such request you must state your email address, full name, mailing address, and telephone number. We will bill you for any fees at that time, if any.

To withdraw your consent with Tanger Management, LLC

To inform us that you no longer wish to receive future notices and disclosures in electronic format you may:

- i. decline to sign a document from within your signing session, and on the subsequent page, select the check-box indicating you wish to withdraw your consent, or you may;

ii. send us an email to Matt.Clepper@tangeroutlets.com and in the body of such request you must state your email, full name, mailing address, and telephone number. We do not need any other information from you to withdraw consent.. The consequences of your withdrawing consent for online documents will be that transactions may take a longer time to process..

Required hardware and software

The minimum system requirements for using the DocuSign system may change over time. The current system requirements are found here: <https://support.docusign.com/guides/signer-guide-signing-system-requirements>.

Acknowledging your access and consent to receive and sign documents electronically

To confirm to us that you can access this information electronically, which will be similar to other electronic notices and disclosures that we will provide to you, please confirm that you have read this ERSD, and (i) that you are able to print on paper or electronically save this ERSD for your future reference and access; or (ii) that you are able to email this ERSD to an email address where you will be able to print on paper or save it for your future reference and access. Further, if you consent to receiving notices and disclosures exclusively in electronic format as described herein, then select the check-box next to 'I agree to use electronic records and signatures' before clicking 'CONTINUE' within the DocuSign system.

By selecting the check-box next to 'I agree to use electronic records and signatures', you confirm that:

- You can access and read this Electronic Record and Signature Disclosure; and
- You can print on paper this Electronic Record and Signature Disclosure, or save or send this Electronic Record and Disclosure to a location where you can print it, for future reference and access; and
- Until or unless you notify Tanger Management, LLC as described above, you consent to receive exclusively through electronic means all notices, disclosures, authorizations, acknowledgements, and other documents that are required to be provided or made available to you by Tanger Management, LLC during the course of your relationship with Tanger Management, LLC.



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: June 19, 2024

Site Plan Review For Howell Township, Michigan

Applicant:	Chestnut Development, LLC
Project Name:	Chestnut Self Storage
Plan Date:	May 30, 2024
Location:	South of W Grand River Ave & N Burkhart Intersection
Zoning:	Industrial Flex Zone (IFZ)
Action Requested:	Preliminary Site Plan Approval

PROJECT AND SITE DESCRIPTION

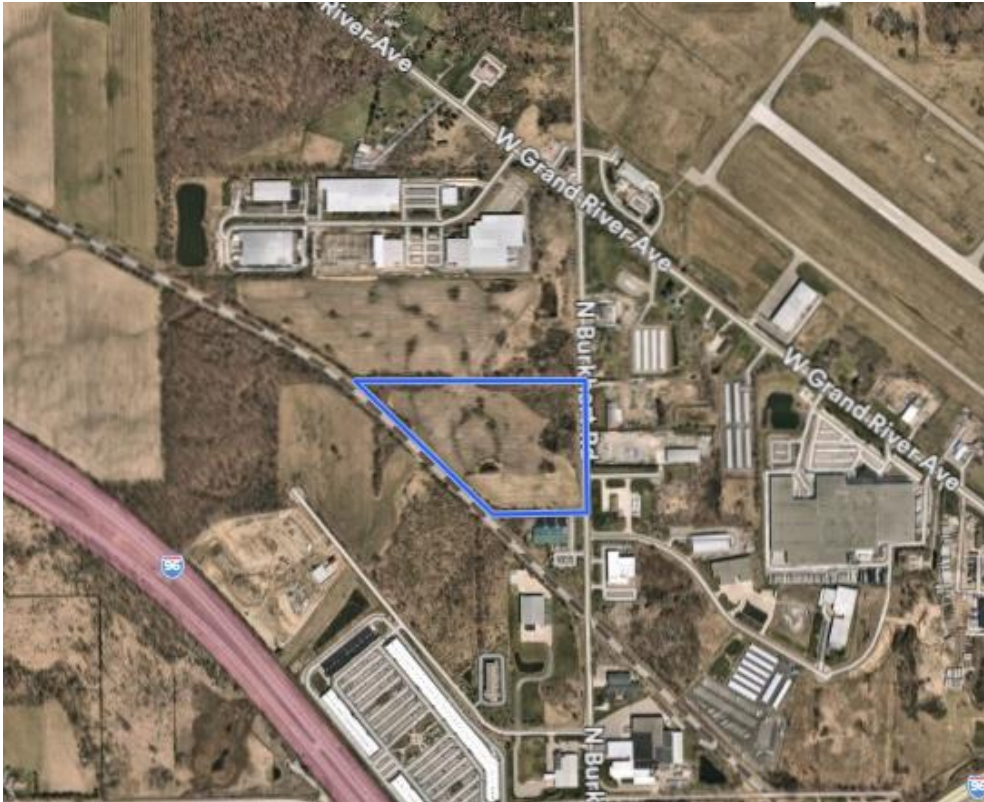
The applicant has submitted a preliminary site plan dated May 30, 2024, that proposes the construction of a self-storage facility located at the vacant parcel #06-29-200-029. Proposed construction of fifty-four (54) storage structures includes thirty-eight (38) 40'x60' storage structures, nine (9) 40'x160' storage structures, six (6) 40'x140' storage structures and one (1) 40'x130' storage structure.

All structures are proposed to be connected to utilities and include a restroom. The site is proposed to be enclosed by a 3,848 lineal foot chain link fence that is eight (8) feet in height.

The proposed mini-warehousing facility is a permitted principal use in the Industrial Flex Zone. However, we question the need to have bathrooms in each unit. We have concerns that this could lead to uses with the units that are not permitted in the district. The Planning Commission

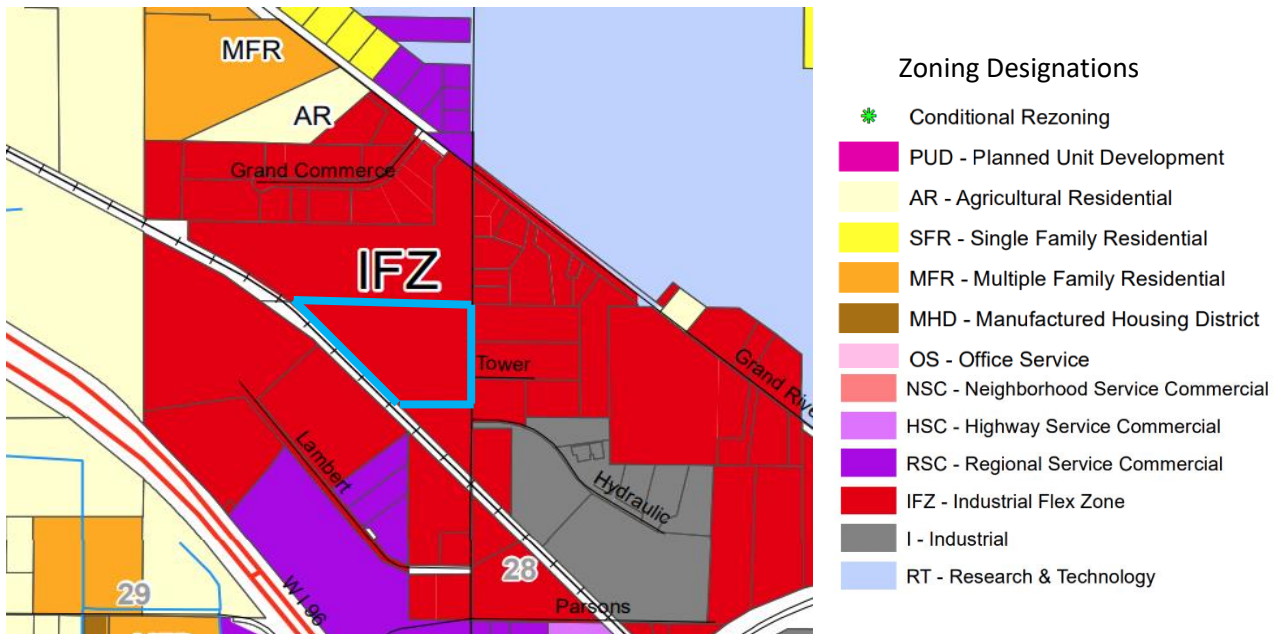
may want to discuss with the applicant the need for individual bathrooms vs. one common facility for customers. Figure 1 provides an aerial image of the current site outlined in blue.

Figure 1. Aerial Image of Subject Site and Vicinity



Source: NearMap

Figure 2. Zoning Map



Items to be Addressed: The Planning Commission may want to discuss with the applicant the need for individual bathrooms in each unit.

NEIGHBORING ZONING, LAND USE AND MASTER PLAN

Neighboring zoning designations are summarized in Table 1.

Table 1. Zoning, Land Use and Master Plan Designations

	Zoning
Subject Site	IFZ- Industrial Flex Zone
North	IFZ- Industrial Flex Zone
South	IFZ= Industrial Flex Zone
East	IFZ= Industrial Flex Zone
West	C & O Railway / IFZ= Industrial Flex Zone

Items to be Addressed: None.

AREA, WIDTH, HEIGHT, SETBACKS

The following table summarizes the Density, Placement, and Height Regulations for the site plan associated with the use. The proposed structures appear to meet all dimensional regulations of the zoning ordinance.

Table 2. Density, Placement, and Height Regulations

	Required	Provided
Lot Area	2 Acres	19.75 Acres
Lot Width	200 Feet	>200 Feet
Front Setback	35 Feet	35 Feet
Side Setback	10 Feet Minimum (Minimum Total of Both Sides=25 Feet)	>25 Feet
Rear Setback	10 Feet Minimum or 50 Feet Minimum Abutting AR, SFR, MFR	10 Feet
Lot Coverage	75 % Max	52.9%
Building Height	70 Feet Max	15 Feet

Items to be Addressed: None.

BUILDING LOCATION AND SITE ARRANGEMENT

The facility will be accessible from Burkhart Road. The proposed layout allows proper vehicular circulation and continued access to an existing Enbridge easement that crosses the site. The plan includes the creation of a sedimentation basin and a detention basin on the Southwest corner of the parcel abutting the railway.

Items to be Addressed: None.

PARKING, LOADING

The applicant is not proposing any parking at this site. Per section 18.02.G.30, which sets requirements for Mini Warehoused, five (5) parking spaces shall be provided adjacent to the office, in addition to any parking which may be required for other permitted uses on the same site (Sec. 18.02.G.30 – Mini Warehouses). No office is being proposed. However, it is unclear if any employee will be on site. Parking should be provided for all employees at a maximum shift.

Typically, users of self-storage facilities park immediately outside their unit. Because units are accessed infrequently and the drive isles in the proposed development appear to be wide enough, we don't foresee issues with this approach.

Items to be Addressed: Demonstrate adequate parking is available for the number of employees at maximum employment.

FENCING

The applicant is proposing 3848 lineal feet of perimeter fencing at eight (8) feet high. This is in compliance with the Industrial Districts fencing requirements of a maximum of twelve (12) feet in height.

Items to be Addressed: None.

SITE ACCESS AND CIRCULATION

The applicant provides a refuse vehicle circulation and emergency vehicle circulation plan which demonstrate proper vehicular traffic flow.

We defer to Engineering and the Fire Chief for further consideration.

Items to be Addressed: None.

NATURAL FEATURES

The site plan calls out that the National Wetland Inventory notes no wetlands on the subject parcel and that wetland flagging was not observed during the field survey. The site plan also

details that the subject property appears to be entirely in zone (X) area with minimal flood hazard according to the flood insurance rate map for the County of Livingston Community Panel NO. (26093C0188D), effective date 9/17/2008.

Approval from EGLE will not be required for construction as it is evident that there are no wetlands shown for the property through the EGLE wetland database.

Items to be Addressed: None.

LANDSCAPING

The applicant has provided a landscape plan, as shown in the following table.

Table 3. Landscaping Requirements RSC District

Landscaped Area	Requirement	Factor	Required	Provided
Road Frontages Burkhart	1 deciduous or evergreen tree per 40 linear feet	838	21	21
	1 ornamental tree per 100 linear feet		8	8
	Min. of 8 shrubs per every 40 linear feet		168	168
Stormwater Detention/ Retention Areas	1 deciduous or evergreen tree per 50 feet of perimeter	1293	26	26
	10 shrubs per 50 feet of perimeter		259	259
Open Space Landscaping	1 canopy tree per 3000 square feet	167320	56	56

Items to be Addressed: 1) Provide the location of all trees with a diameter at breast height of six (6) inches or more 2) Provide boundaries of woodlots and shrub masses if applicable.

LIGHTING

A sufficient lighting plan has been provided. A photometric plan indicates that the light levels at property lines are acceptable. Planned lighting includes floodlights spaced throughout the lot, area luminaire lighting along vehicular traffic ways, and wall packs along the storage structures. There are 25 wall mounted flood lights that the angle of the light appears to be adjustable. These should be replaced with a permanent horizontal fixture.

Items to be Addressed: Replace fixtures RSXF1 LED 40K with a permanent horizontal fixture.

SIGNS

Site plan does not indicate any signage proposed on the site.

If added, signs will require a separate permit from the Zoning Administrator. A sign application must be filed with the Zoning Administrator, at which time the zoning administrator will determine if the signs meet the requirements of the ordinance.

Items to be Addressed: None.

FLOOR PLAN AND ELEVATIONS

Floor plan and elevation sheets have been included in the site plan on sheets A-1.0.

Items to be Addressed: None.

TRASH ENCLOSURE

The applicant has indicated that a garbage receptacle will be placed near the entrance off of Burkhardt on the East side of the property.

Items to be Addressed: Provide trash enclosure details.

RECOMMENDATIONS

We recommend the following items be addressed before the Planning Commission takes action on the preliminary site plan:

1. The Planning Commission may want to discuss with the applicant the need for individual bathrooms in each unit
2. Demonstrate adequate parking is available for the number of employees at maximum employment.
3. Provide the location of all trees with a diameter at breast height of six (6) inches or more.
4. Provide boundaries of woodlots and shrub masses where applicable.
5. Replace fixtures RSXF1 LED 40K with a permanent horizontal fixture.
6. Provide trash enclosure details.



CARLISLE/WORTMAN ASSOC., INC.
Paul Montagno, AICP
Principal



CARLISLE/WORTMAN ASSOC., INC.
Grayson Moore
Community Planner

HOWELL TOWNSHIP
Application for Site Plan Review

3525 Byron Road Howell, MI 48855
Phone: 517-546-2817 ext. 108
Email: inspector@howelltownshipmi.org

File # PC2024-07

Parcel ID #: 4706- 29 - 200 - 029 Date 05/24/24

Applicant Name MEGA/Mark Melchi Applicant Address 298 Veterans Dr. Fowlerville, MI 48836

Phone o: (517)223-3512 Fax _____ Email mmelchi@monumentengineering.com

Property Owner Name Chestnut Development LLC (Project: Chestnut Self Storage)

Phone (888)425-1820 Fax _____ Email permits@chestnutdev.com

Please list all recipients to receive information and/or reports:

Name: Al Pruss Email apruss@monumentengineering.com

Name: Britney Shea Email bshea@monumentengineering.com

Name: Kelly Ralko Email permits@chestnutdev.com

Location of Property Burkhart Road btw. G. River & Lambert Dr. Current Zoning Classification IFZ

Existing Use vacant Proposed Use self-storage

Check One:

- | | |
|--|--|
| <input checked="" type="checkbox"/> Preliminary Site Plan Review (20.06) | <input checked="" type="checkbox"/> Final Site Plan Review (20.07) |
| <input type="checkbox"/> Temporary Use (14.34) | <input type="checkbox"/> Commercial/Industrial Development |
| <input type="checkbox"/> Subdivision/Site Plan Condo | <input type="checkbox"/> Multi-Family/Condo |
| <input type="checkbox"/> Planned Unit Development (PUD) Type: | 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5 <input type="checkbox"/> |

Note; Submitting for combined preliminary and final SPA per ordinance Article XX Section 20.09
Pre-Conference was held on 4/9/24

Applicant needs to provide the following site plan drawings: four (4) full size copies, eight (8) - 11" x 17" copies, and an electronic set (either on an USB drive or provide an online link) for the preliminary site plan drawings. Drawings shall be submitted with an application for site plan review (20.06 a) thirty (30) days prior to the meeting.

The site plan is to contain the following information or the drawing submitted under the Land Use Permit can be utilized if it also contains the following information and is accurately drawn to scale:

- a. The date, north arrow and scale. The scale shall be not less than 1" = 20' for property under three (3) acres and at least 1" = 100' for those (3) acres or more.
- b. Statistical data including number of dwelling units, size of dwelling units, if any, and total gross acreage involved. In the case of a mobile home park, the size and location of each mobile home site shall be shown.
- c. The location and height of all existing and proposed structures on and within 100' of the subject property's boundary.
- d. All lot and/or property lines are to be shown and dimensioned, including building setback lines on corner lots.
- e. The location and dimensions of all existing and proposed drives, sidewalks, curb openings, signs, exterior lighting, curbing, parking areas (show dimensions of a typical parking space), unloading areas and recreation areas.
- f. Vehicular traffic and pedestrian circulation features within and without the site.
- g. The location of all proposed landscaping, fences, or walls.
- h. Size and location of existing and proposed utilities, including proposed connection to public sewer or water supply system.
- i. A location map indicating the relationship of the site to the surrounding land uses.
- j. The location and pavement width and right-of-way width of all abutting roads, streets, alleys, or easements.
- k. Show properties and respective zoning abutting the subject property.
- l. The location and size of all surface water drainage facilities.
- m. Contour intervals shall be shown at a maximum of 2' intervals, with 1' intervals preferred for topographic features of the site.

By signing below the applicant understands and acknowledges the following statements:

- a. The Planning Commission has sixty (60) days from filing date to approve or deny site plan.
- b. Approval of preliminary site plan is valid for a period of one (1) year from date of approval.
- c. A one (1) year extension may be granted upon written request of the applicant and approval by the Planning Commission.
- d. Approval of preliminary site plan shall expire one year after approval of final site plan unless zoning permit has been obtained.
- e. Approval of the final site plan expires six (6) months after approval unless a land use permit application is applied for and granted.

- f. The final site plan approval shall expire one (1) year following the date of approval unless construction has begun on the property in accordance with the plan.
- g. Applicant may appeal the Planning Commission's ruling of the final site plan to the Board of Appeals within ten (10) days of the Planning Commission's decision on all matters except use of the land, use of buildings, or structures.
- h. The Planning Commission has sixty (60) days from the date of the Planning Commission meeting at which the final site plan was received to approve or deny the final site plan.
- i. Improvements not in conformance with the final site plan shall be deemed a violation of the ordinance and be subject to the penalties of the ordinance.
- j. Sewer system and water system tap in fees, if applicable, must be paid prior to issuance of a land use permit.

Applicant hereby deposes and says that all the above statements and information contained in this application and any statements submitted herewith or on the site plan are true and accurate.

[Handwritten Signature]

Owner Signature

STEVE GRONOW

Print Name

5/24/24

Date

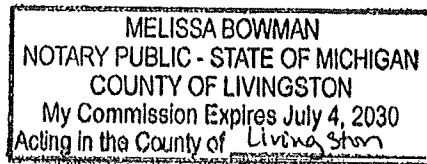
Subscribed and sworn to before me this 24 day of May, 2024.

[Handwritten Signature]

Notary Public

Livingston County, Michigan

My Commission Expires: July 4, 2030.



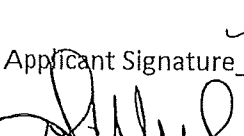
Howell Township Reimbursement Agreement

The applicant accepts responsibility for all expenses at actual cost for professional services related to the application required by the Township for the issuance of any permits, approvals, reviews and attendance at meetings by the Township's Planner, Landscape Architects, Legal Counsel, Engineering and Administrative Staff, over and above the fees listed in the Howell Township fee schedule.

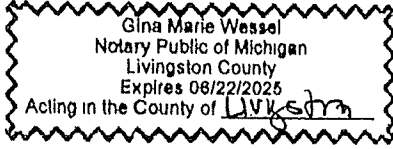
Information for Additional Billing:

Name Kelly Ralko, Agent of Chestnut Address Chestnut Dev LLC, 6253 G. River, Ste 700, Brighton 48114
Phone (888) 425-1820 Email permits@chestnutdev.com

I have read and agree to the reimbursement agreement as presented between myself/my company and Howell Township.

Applicant Signature  - agent of Chestnut Date 3/25/24

Notary Public
Livingston County, Michigan
My Commission Expires: 6.22.25



Owner Signature Same as above Date _____

Notary Public

County, Michigan
My Commission Expires: _____

LEGAL DESCRIPTION (AS PROVIDED)

(PER CISLO TITLE COMPANY, PRELIMINARY TITLE COMMITMENT NO. 24-91731-5, DATED JANUARY 18, 2024)

PARCEL TAX NUMBER: 06-29-200-029

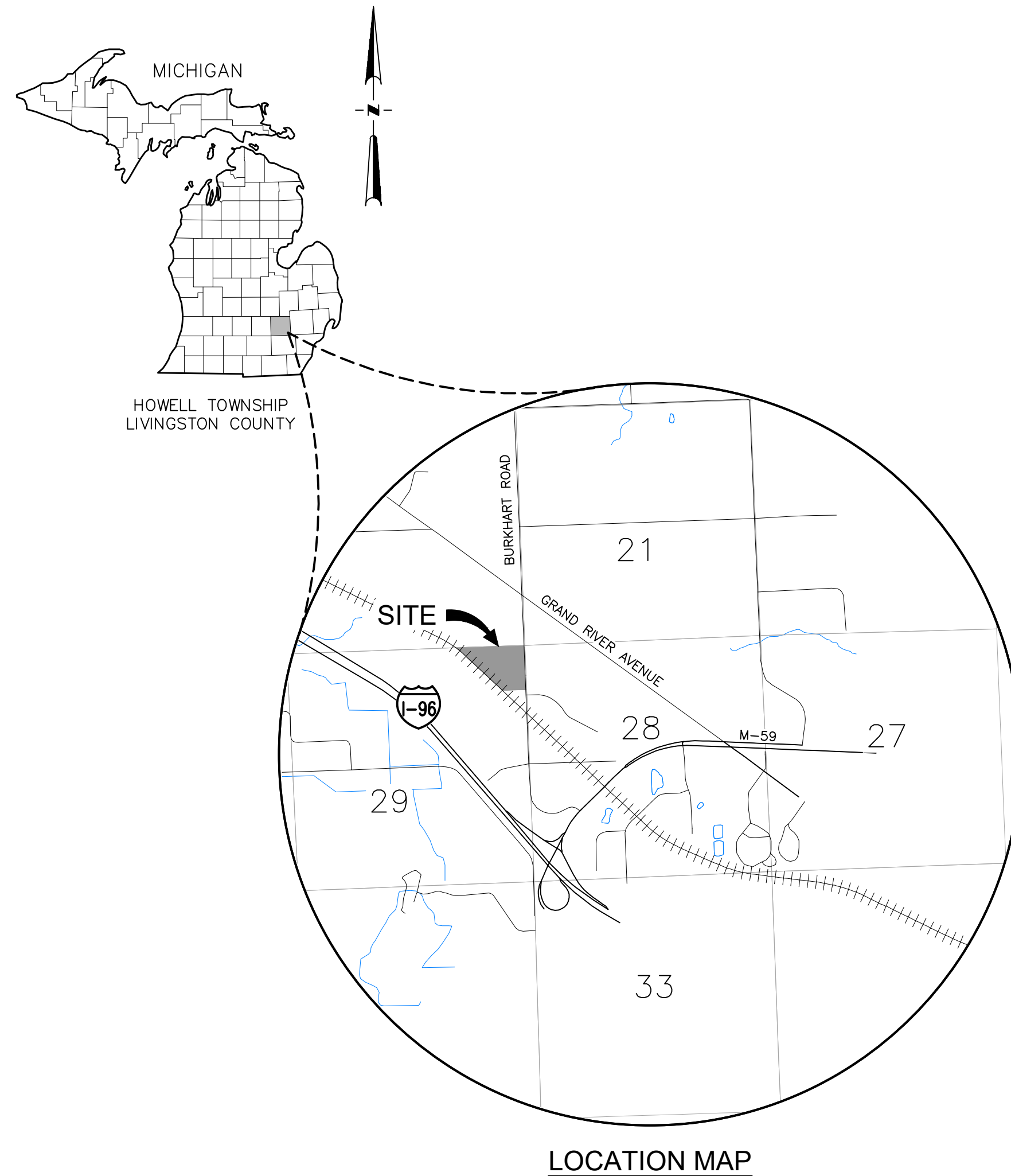
the following parcel of land situated in the Township of Howell, County of Livingston, State of Michigan, described as follows:

Part of the Northeast 1/4 of Section 29, Town 3 North, Range 4 East, Township of Howell, Livingston County, Michigan, more particularly described as follows: Beginning at the Northeast corner of Section 29; thence along the East line of Section 29 and the centerline of Burkhart Road, South 00 degrees 54 minutes 50 seconds East 638.41 feet; thence South 89 degrees 05 minutes 10 seconds West, 797.11 feet; thence along the Northeasterly Right of Way of the Chesapeake & Ohio Railroad on the following two (2) courses; 1) North 45 degrees 24 minutes 50 seconds West, 572.57 feet, 2) Northwesterly on an arc left, having a length of 361.97 feet, a radius of 3149.50 feet, a central angle of 06 minutes 35 minutes 06 seconds, and a long chord which bears North 48 degrees 42 minutes 23 seconds West, 361.78 feet; thence along the North line of Section 29, North 89 degrees 35 minutes 42 seconds East (recorded as North 89 degrees 35 minutes 04 seconds East), 1466.47 feet to the Point of Beginning.

Part of the Northeast 1/4 of Section 29, Town 3 North, Range 4 East, Township of Howell, Livingston County, Michigan, described as follows: Commencing at the Northeast corner of Section 29; thence along the East line of Section 29 and the centerline of Burkhart Road, South 0 degrees 54 minutes 50 seconds East 638.41 feet to the point of beginning of the parcel to be described; thence continuing along the East line of Section 29 and the centerline of Burkhart Road, South 00 degrees 54 minutes 50 seconds East 200.00 feet; thence South 89 degrees 05 minutes 10 seconds West 600.58 feet (recorded as West 600.30 feet); thence along the Northeasterly right of way of the Chesapeake and Ohio Railroad, North 45 degrees 24 minutes 50 seconds West 280.41 feet; thence North 89 degrees 05 minutes 10 seconds East 797.11 feet to the point of beginning.

COMBINED PRELIMINARY & FINAL SITE PLAN DRAWINGS FOR

CHESTNUT SELF STORAGE



BEARING REFERENCE

BEARINGS ARE BASED ON PROJECT COORDINATE SYSTEM: MICHIGAN STATE PLANE COORDINATE SYSTEM, NAD83 (CONUS) (MOL) (GRS80), SOUTH ZONE 2113, INTERNATIONAL FEET, GROUND.

DESIGN ENGINEER/SURVEYOR



MONUMENT ENGINEERING GROUP ASSOCIATES, INC

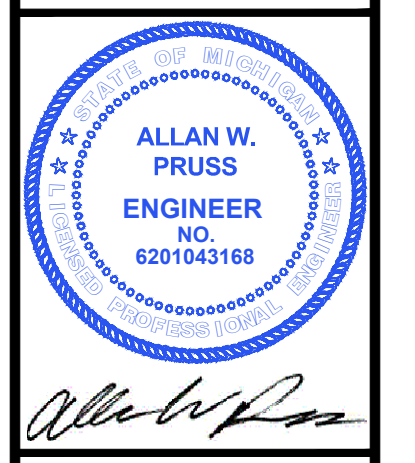
INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS

298 VETERANS DRIVE, FOWLERVILLE, MI 48836
PHONE: 517-223-3512

CLIENT

CHESTNUT DEVELOPMENT, LLC
3800 CHILSON ROAD
HOWELL, MICHIGAN 48843
POC: STEVE GRONOW
PHONE: 517-552-2489

SHEET INDEX	PLAN SUBMITTALS		INCLUDED SHEETS	
	PRELIMINARY/FINAL SITE PLAN SUBMITTAL	REVISED SITE PLAN SUBMISSION		
	5/28/2024	5/30/2024		
GENERAL				
SHEET G-1.0			•	•
SURVEY				
SHEET V-1.0			•	•
SHEET V-1.1			•	•
SHEET V-1.2			•	•
SHEET V-1.3			•	•
SHEET V-1.4			•	•
SITE PLAN				
SHEET C-1.0			•	•
SHEET C-1.1			•	•
SHEET C-1.2			•	•
SHEET C-1.3			•	•
VEHICLE CIRCULATION				
SHEET C-2.0			•	•
SHEET C-2.1			•	•
SHEET C-2.2			•	•
UTILITY				
SHEET C-3.0			•	•
SHEET C-3.1			•	•
SHEET C-3.2			•	•
SHEET C-3.3			•	•
SHEET C-3.4			•	•
SHEET C-3.5			•	•
SHEET C-3.6			•	•
SHEET C-3.7			•	•
SHEET C-6.1			•	•
SHEET C-6.2			•	•
SHEET C-6.3			•	•
SHEET C-6.4			•	•
SHEET C-6.5			•	•
SHEET C-6.6			•	•
SHEET C-6.7			•	•
SHEET C-6.8			•	•
GRADING				
SHEET C-7.1			•	•
SHEET C-7.2			•	•
SHEET C-7.3			•	•
SOIL EROSION & SEDIMENTATION CONTROL (SESC)				
SHEET C-8.0			•	•
SHEET C-8.1			•	•
SHEET C-8.2			•	•
STORM WATER MANAGEMENT				
SHEET C-9.0			•	•
SHEET C-9.1			•	•
SHEET C-9.2			•	•
DETAILS				
SHEET C-11.0			•	•
SHEET C-11.1			•	•
SPECIFICATIONS				
SHEET C-12.0			•	•
SHEET C-12.1			•	•
LANDSCAPE				
SHEET LS-1			•	•
SHEET LS-2			•	•
SHEET LS-3			•	•
SITE LIGHTING				
SHEET V1			•	•
ARCHITECTURAL				
SHEET A-1.0			•	•
HOWELL TOWNSHIP, LIVINGSTON COUNTY STANDARD DETAILS				



Call MISS DIG 3 full working days before you dig.
Michigan's Utility Notification Organization
1-800-482-7171
www.missdig.org

CLIENT :
CHESTNUT DEVELOPMENT, LLC
3800 CHILSON ROAD
HOWELL, MI 48843
POC: STEVE GRONOW
517-552-2489

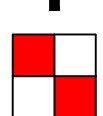
COVER
CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN

DATE	5/28/2024	5/30/2024
PLAN SUBMITTALS/REVISIONS		
PRELIMINARY/FINAL SITE PLAN SUBMITTAL		
REVISED SITE PLAN SUBMISSION		

ORIGINAL ISSUE DATE: 02/29/2024
PROJECT NO: 22-286
SCALE: N/A
FIELD:
DRAWN BY: CD
DESIGN BY: BS
CHECK BY: AP

G-1.0

NOT FOR CONSTRUCTION



BENCHMARKS

DATUM: NAVD88

BM A:
TOP OF FLANGE BOLT OF HYDRANT, 57'± NORTH OF ROAD CATCH BASIN, 33'± WEST OF THE CENTERLINE OF BURKHART ROAD.
ELEV =936.19

BM B:
TOP OF FLANGE BOLT OF HYDRANT, 14'± NORTH OF ROAD CATCH BASIN, 30'± WEST OF THE CENTERLINE OF BURKHART ROAD.
ELEV =938.22

BM C:
TOP OF FLANGE BOLT OF HYDRANT, 79'± NORTH OF ROAD CATCH BASIN, 30'± WEST OF THE CENTERLINE OF BURKHART ROAD.
ELEV =941.72

SOILS INFO

SOIL TYPES ARE ACCORDING TO THE USDA SOIL SURVEY WEB SITE (<https://websoilsurvey.sc.egov.usda.gov/App/HomePage.htm>)

SOIL TYPE LIMIT AND LABEL

- MoB: WAWASEE LOAM, 2-6% SLOPES
- CvraaB: CONOVER LOAM, 0 TO 4% SLOPES
- MrB: MIAMI-CONOVER LOAMS, 2-6% SLOPES

EXISTING PARKING

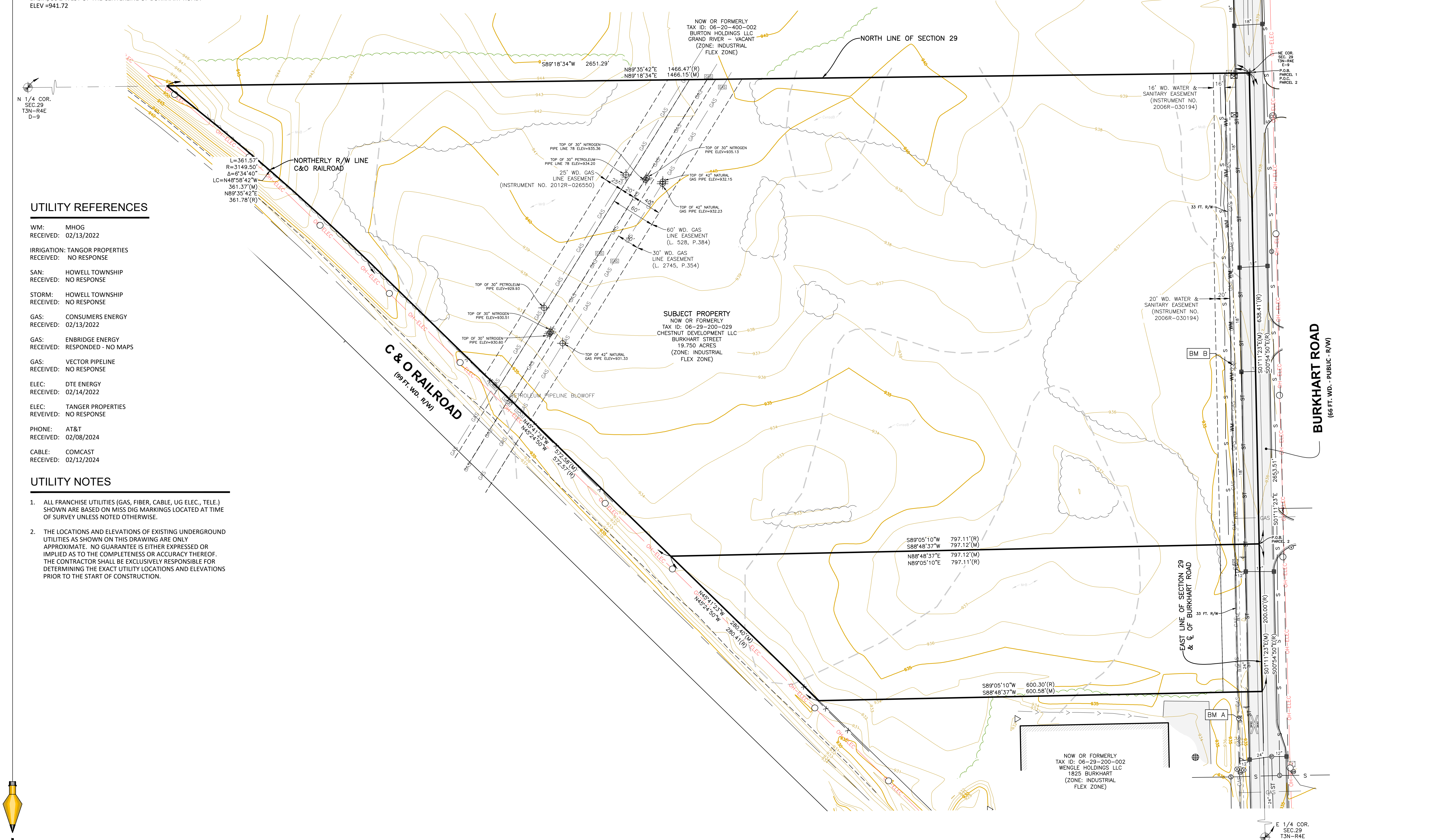
THERE ARE NO STRIPED PARKING SPACES ON THE SUBJECT PROPERTY.

WETLAND NOTE

ACCORDING TO THE NATIONAL WETLAND INVENTORY WEBSITE ([HTTP://WWW.FWS.GOV/WETLANDSDATAMAPPER.HTML](http://www.fws.gov/wetlandsdatamapper.html)), THERE ARE NO NOTED WETLANDS ON THE SUBJECT PARCEL.
WETLAND FLAGGING WAS NOT OBSERVED DURING THE FIELD SURVEY. AN OFFICIAL STUDY FOR THE PRESENCE OF WETLANDS WAS NOT CONDUCTED BY MONUMENT ENGINEERING GROUP ASSOCIATES.

FLOOD ZONE

FEMA MAP SCALES DO NOT SUPPLY SUFFICIENT LEVEL OF DETAIL TO PLOT ACCURATELY. ZONES IF PLOTTED HEREIN ARE APPROXIMATE.
BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THE SUBJECT PROPERTY APPEARS TO LIE ENTIRELY IN ZONE (X) AREA OF MINIMAL FLOOD HAZARD ACCORDING TO THE FLOOD INSURANCE RATE MAP FOR THE COUNTY OF LIVINGSTON, COMMUNITY PANEL NO. (26093C0188D), EFFECTIVE DATE SEPTEMBER 17, 2008.



UTILITY REFERENCES

WM: MHOG
RECEIVED: 02/13/2022

IRRIGATION: TANGOR PROPERTIES
RECEIVED: NO RESPONSE

SAN: HOWELL TOWNSHIP
RECEIVED: NO RESPONSE

STORM: HOWELL TOWNSHIP
RECEIVED: NO RESPONSE

GAS: CONSUMERS ENERGY
RECEIVED: 02/13/2022

GAS: ENBRIDGE ENERGY
RECEIVED: RESPONDED - NO MAPS

GAS: VECTOR PIPELINE
RECEIVED: NO RESPONSE

ELEC: DTE ENERGY
RECEIVED: 02/14/2022

ELEC: TANGER PROPERTIES
RECEIVED: NO RESPONSE

PHONE: AT&T
RECEIVED: 02/08/2024

CABLE: COMCAST
RECEIVED: 02/12/2024

UTILITY NOTES

- ALL FRANCHISE UTILITIES (GAS, FIBER, CABLE, UG ELEC., TELE.) SHOWN ARE BASED ON MISS DIG MARKINGS LOCATED AT TIME OF SURVEY UNLESS NOTED OTHERWISE.
- THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

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ALLAN W. PRUSS
ENGINEER
NO. 6201043168

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Michigan's Utility Notification Organization

1-800-482-7171
www.missdig.org

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CLIENT :

CHESTNUT DEVELOPMENT, LLC
3800 CHILSON ROAD
HOWELL, MI 48843

POC: STEVE GRONOW
517-552-2489

TOPOGRAPHIC SURVEY (OVERVIEW)

CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN

DATE	PLAN SUBMITTALS/REVISIONS
5/28/2024	PRELIMINARY/FINAL SITE PLAN SUBMITTAL
5/30/2024	REVISED SITE PLAN SUBMISSION

ORIGINAL ISSUE DATE:
02/29/2024

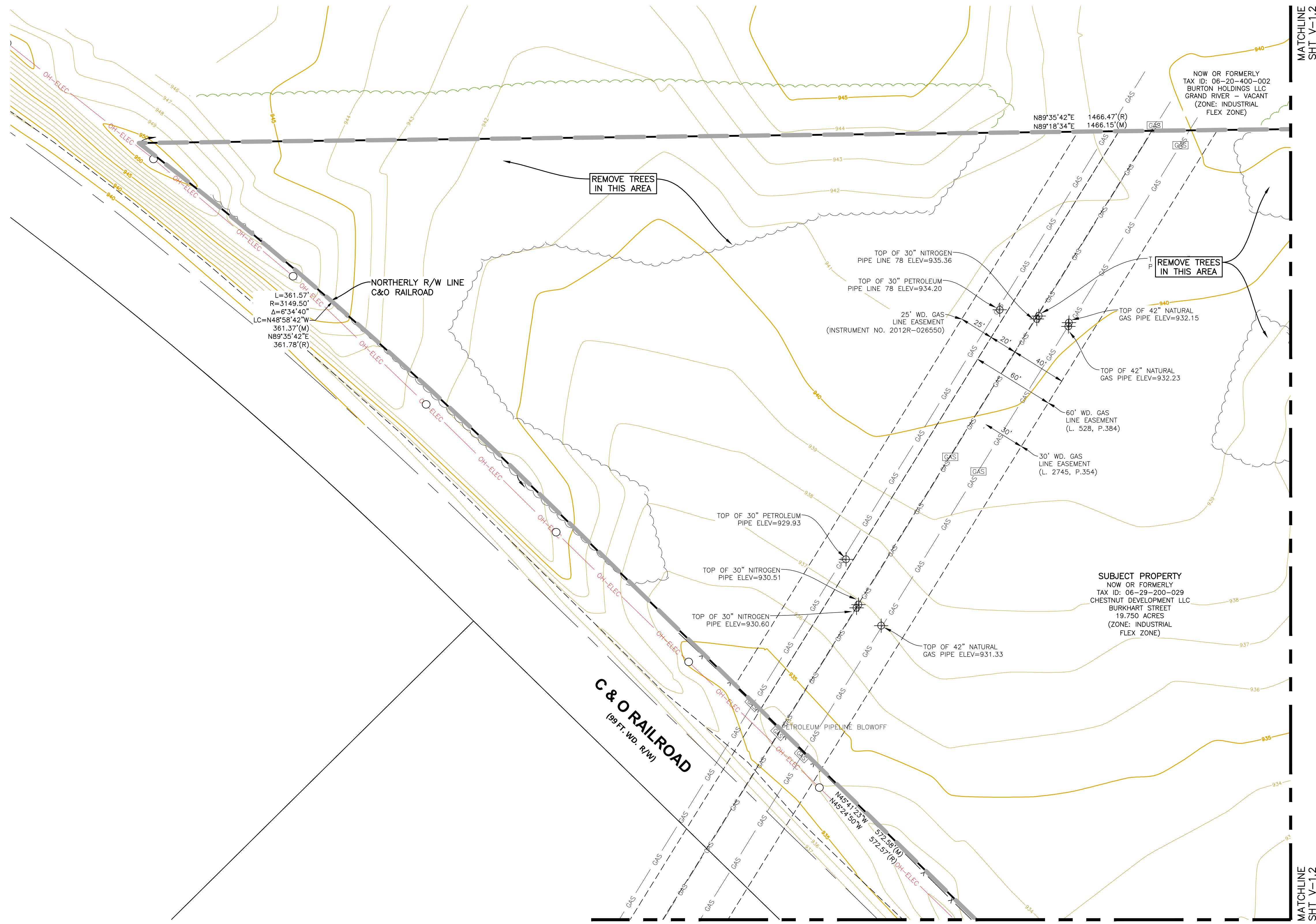
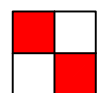
PROJECT NO: 22-286

SCALE: 1" = 60'

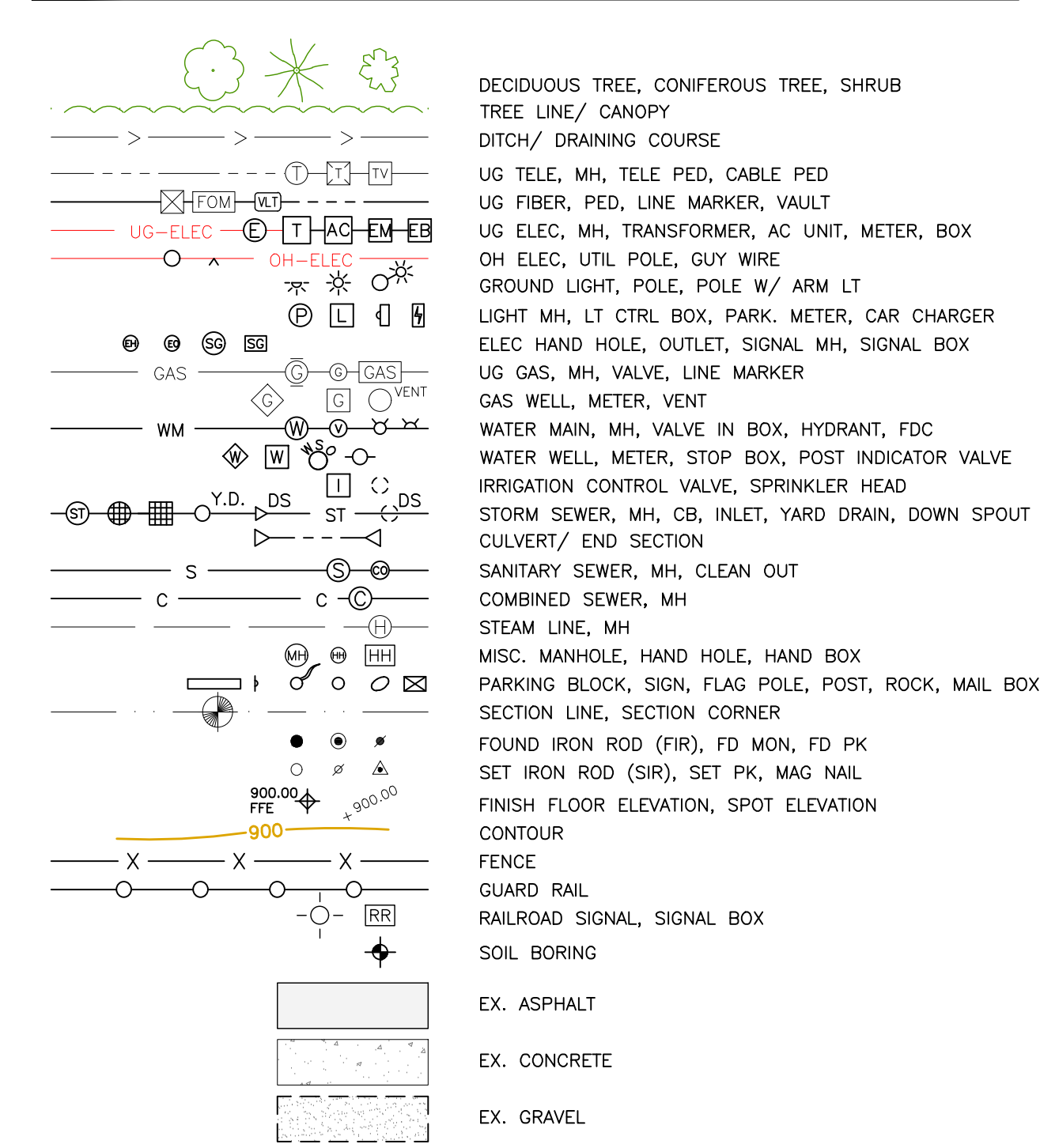
FIELD:
DRAWN BY: CD
DESIGN BY: BS
CHECK BY: AP

V-10

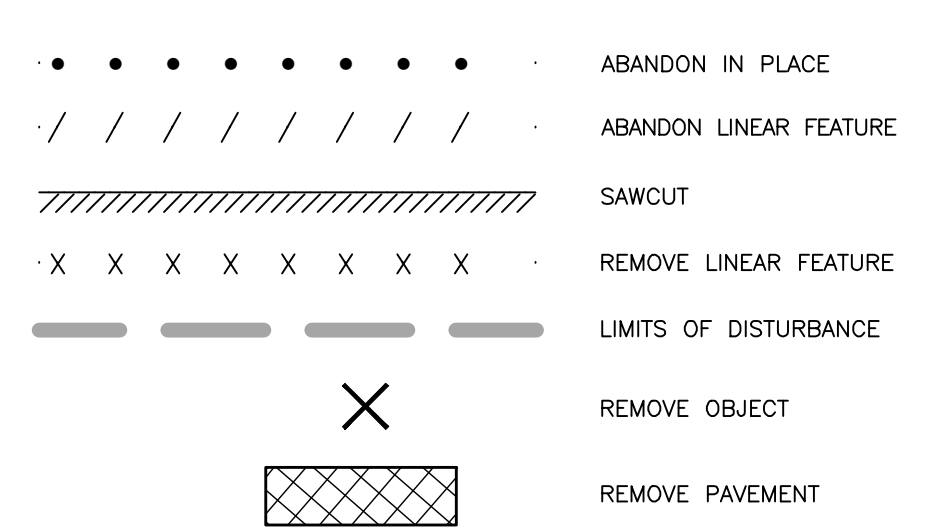
NOT FOR CONSTRUCTION



EXISTING LEGEND



DEMOLITION LEGEND



DEMOLITION NOTES

- UTILITY OBJECTS SUCH AS GAS METER, TRANSFORMER, TELEPHONE PEDESTAL, UTILITY POLE & WIRES ARE TO BE REMOVED BY OTHERS IF APPLICABLE.
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INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS

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www.missdig.org

CLIENT :

CHESTNUT DEVELOPMENT, LLC
3800 CHILSON ROAD
HOWELL, MI 48843

POC: STEVE GRONOW
517-552-2489

TOPO SURVEY & DEMO PLAN - WEST

CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN

PLAN SUBMITTALS/REVISIONS	DATE
PRELIMINARY/FINAL SITE PLAN SUBMITTAL	5/28/2024
REVISED SITE PLAN SUBMISSION	5/30/2024

ORIGINAL ISSUE DATE:
02/29/2024

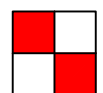
PROJECT NO: 22-286

SCALE: 1" = 40'
0 1/2" 1"

FIELD:
DRAWN BY: CD
DESIGN BY: BS
CHECK BY: AP

V-11

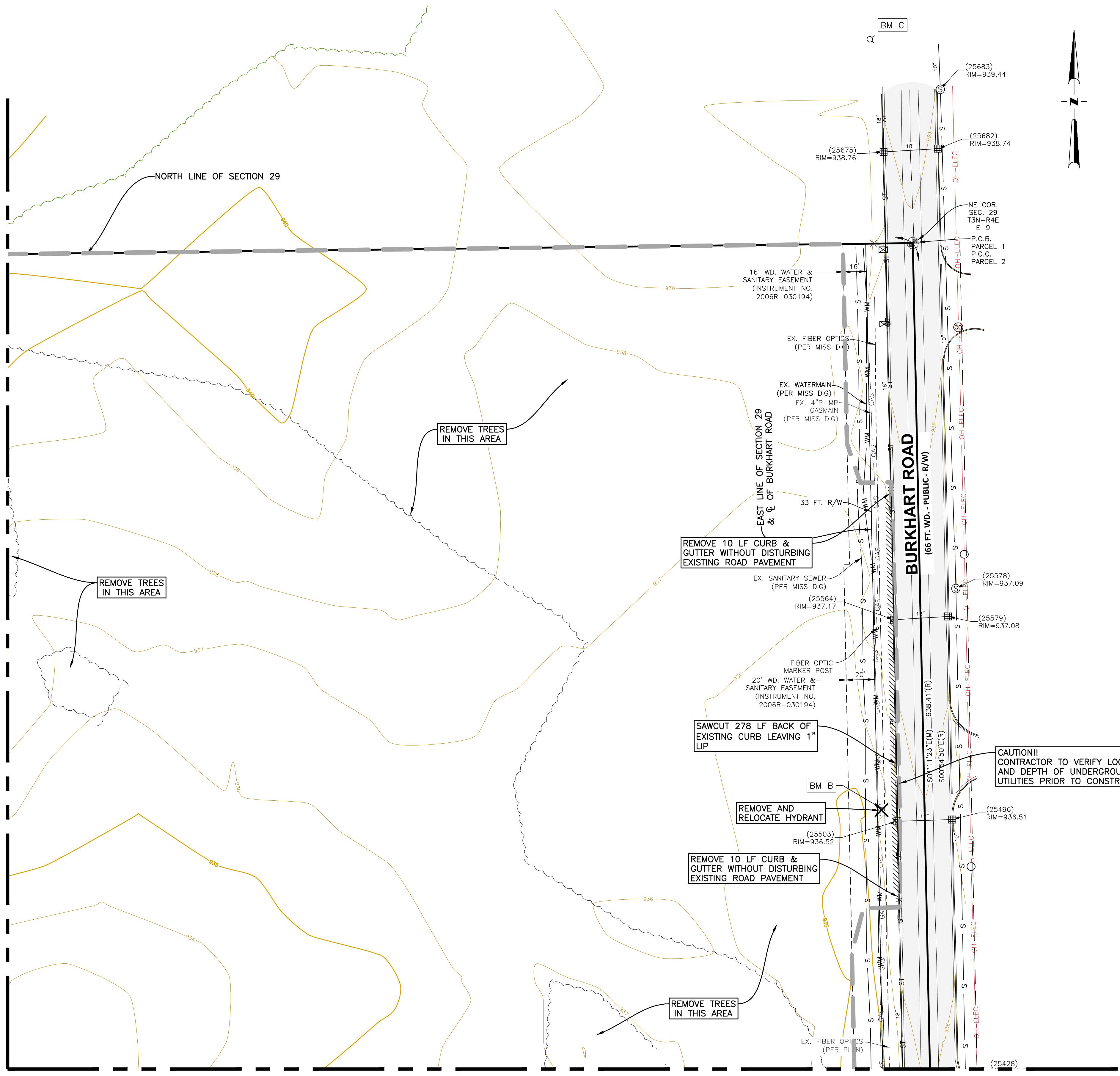
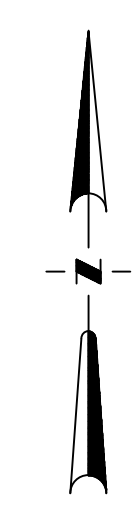
NOT FOR CONSTRUCTION



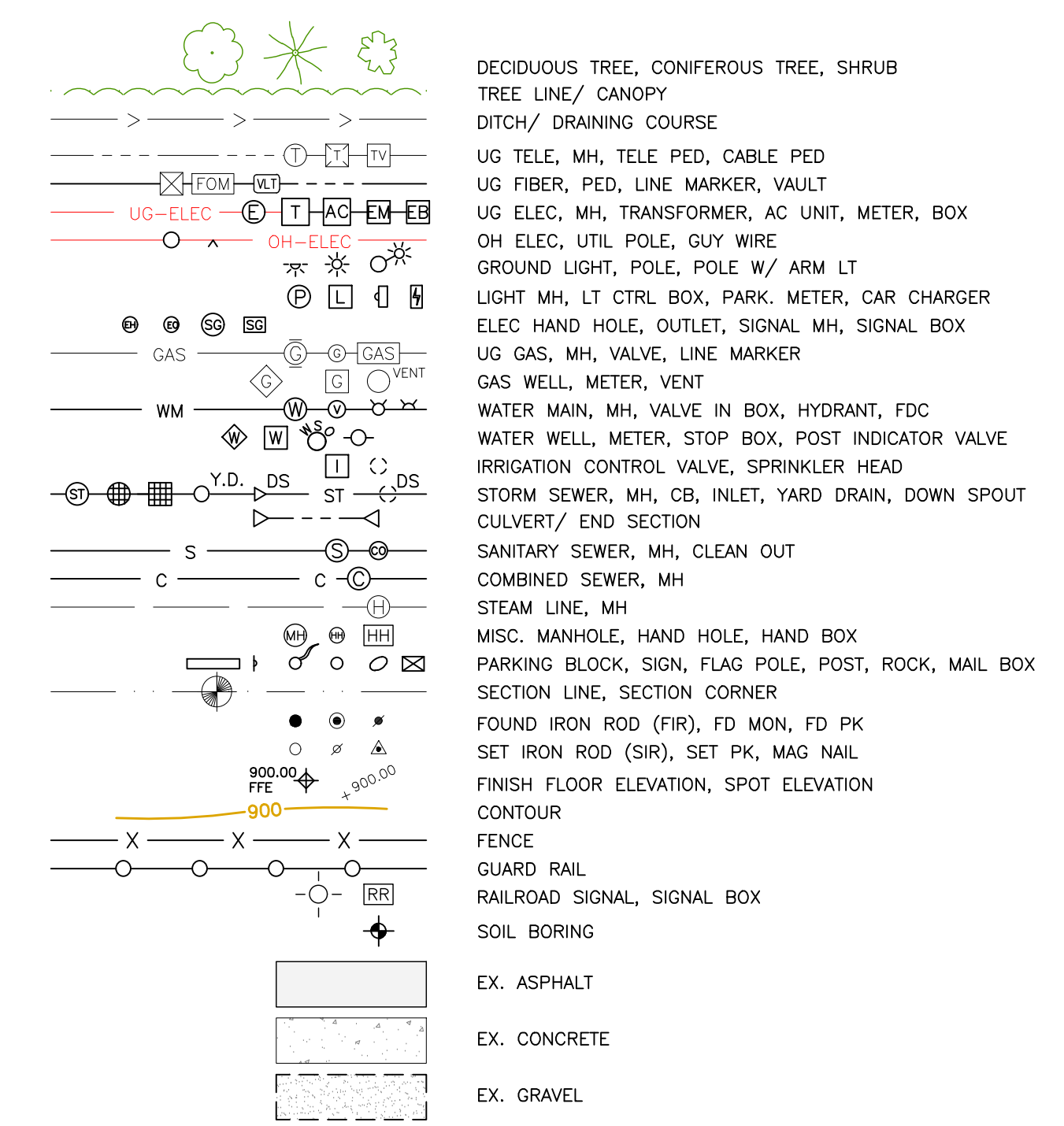
MATCHLINE
SHT V-1.1

MATCHLINE
SHT V-1.1

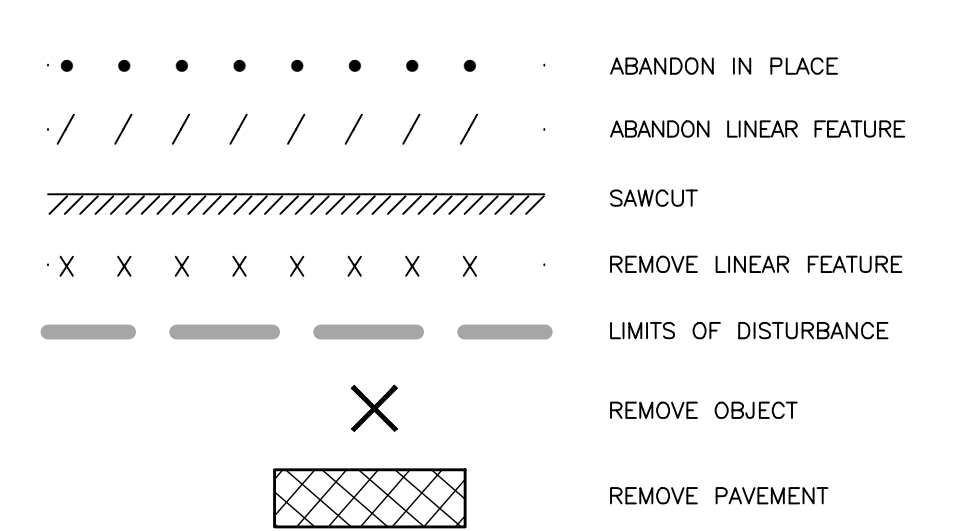
MATCHLINE
SHT V-1.3



EXISTING LEGEND



DEMOLITION LEGEND



DEMOLITION NOTES

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- ANY TREES NOT MARKED PER PLAN ARE TO BE PROTECTED & PRESERVED DURING CONSTRUCTION.

STRUCTURE SCHEDULE

EX. SANITARY SEWER			EX. STORM SEWER		
STRUCTURE	RIM ELEV.	PIPES	STRUCTURE	RIM ELEV.	PIPES
(25303) SMH	934.28	12" E IE= 922.78 12" W IE= 920.08 12" S IE= 920.08	(25313) CBS	935.27	24" E IE= 930.38 24" N IE= 930.37 12" W IE= 931.57
(25318) SMH	935.31	12" W IE= 922.51 12" E IE= 922.61 10" N IE= 922.71	(25317) STMH	935.57	12" E IE= 930.47 24" W IE= 929.57 24" S IE= 929.57
(25428) SMH	935.71	10" S IE= 921.91 10" N IE= 921.91 10" E IE= 922.31	(25402) CBS	935.39	24" S IE= 930.60 18" N IE= 930.80 12" E IE= 931.40 12" W IE= 932.00
(25578) SMH	937.09	10" S IE= 922.71 10" N IE= 924.79	(25410) CBS	935.26	12" W IE= 931.66
(25683) SMH	939.44	10" N IE= 926.24 10" S IE= 926.14	(25496) CBS	936.51	12" W IE= 931.91
			(25503) CBS	936.52	18" S IE= 931.32 12" E IE= 931.52 18" N IE= 931.52
			(25530) CBS	935.10	12" W IE= 930.70
			(25564) CBS	937.17	18" S IE= 932.27 12" E IE= 932.67 18" N IE= 932.27
			(25579) CBS	937.08	12" W IE= 932.68
			(25675) CBS	938.76	18" S IE= 933.46 18" E IE= 933.46 18" N IE= 933.46
			(25682) CBS	938.74	18" W IE= 933.54

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CLIENT :

CHESTNUT DEVELOPMENT, LLC
3800 CHILSON ROAD
HOWELL, MI 48843

POC: STEVE GRONOW
517-552-2489

TOPO SURVEY & DEMO PLAN - EAST

CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN

DATE	DESCRIPTION
5/28/2024	PRELIMINARY/FINAL SITE PLAN SUBMITTAL
5/30/2024	REVISED SITE PLAN SUBMISSION

ORIGINAL ISSUE DATE:
02/29/2024

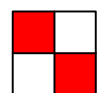
PROJECT NO: 22-286

SCALE: 1" = 40'
0 1/2" 1"

FIELD:
DRAWN BY: CD
DESIGN BY: BS
CHECK BY: AP

V-12

NOT FOR CONSTRUCTION

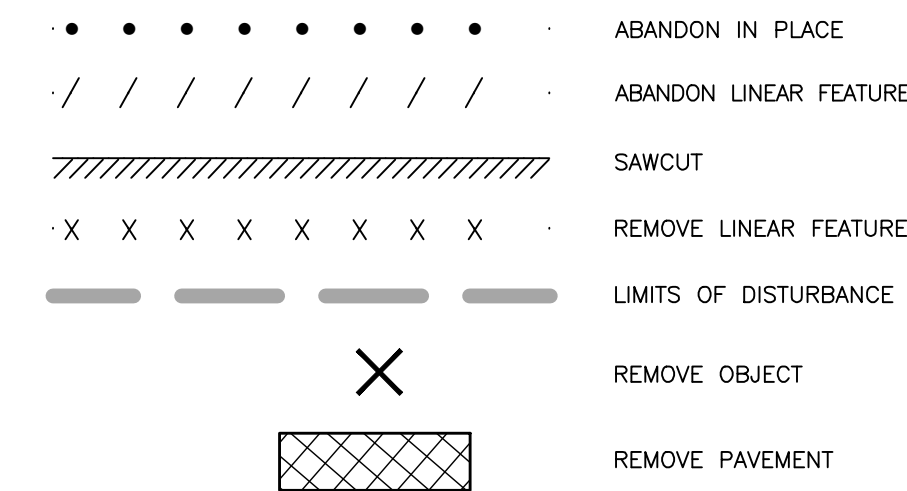


STRUCTURE SCHEDULE

EX. SANITARY SEWER		
STRUCTURE	RIM ELEV.	PIPES
(25303) SMH	934.28	12" E IE= 922.78 12" W IE= 920.08 12" S IE= 920.08
(25318) SMH	935.31	12" W IE= 922.51 12" E IE= 922.61 10" N IE= 922.71
(25428) SMH	935.71	10" S IE= 921.91 10" N IE= 921.91 10" E IE= 922.31
(25578) SMH	937.09	10" S IE= 922.71 10" N IE= 924.79
(25683) SMH	939.44	10" N IE= 926.24 10" S IE= 926.14

EX. STORM SEWER		
STRUCTURE	RIM ELEV.	PIPES
(25313) CBS	935.27	24" E IE= 930.38 24" N IE= 930.37 12" W IE= 931.57
(25317) STMH	935.57	12" E IE= 930.47 24" W IE= 929.57 24" S IE= 929.57
(25402) CBS	935.39	24" S IE= 930.60 18" N IE= 930.80 12" E IE= 931.40 12" W IE= 932.00
(25410) CBS	935.26	12" W IE= 931.66
(25496) CBS	936.51	12" W IE= 931.91
(25503) CBS	936.52	18" S IE= 931.32 12" E IE= 931.52 18" N IE= 931.52
(25530) CBS	935.10	12" W IE= 930.70
(25564) CBS	937.17	18" S IE= 932.27 12" E IE= 932.67 18" N IE= 932.27
(25579) CBS	937.08	12" W IE= 932.68
(25675) CBS	938.76	18" S IE= 933.46 18" E IE= 933.46 18" N IE= 933.46
(25682) CBS	938.74	18" W IE= 933.54

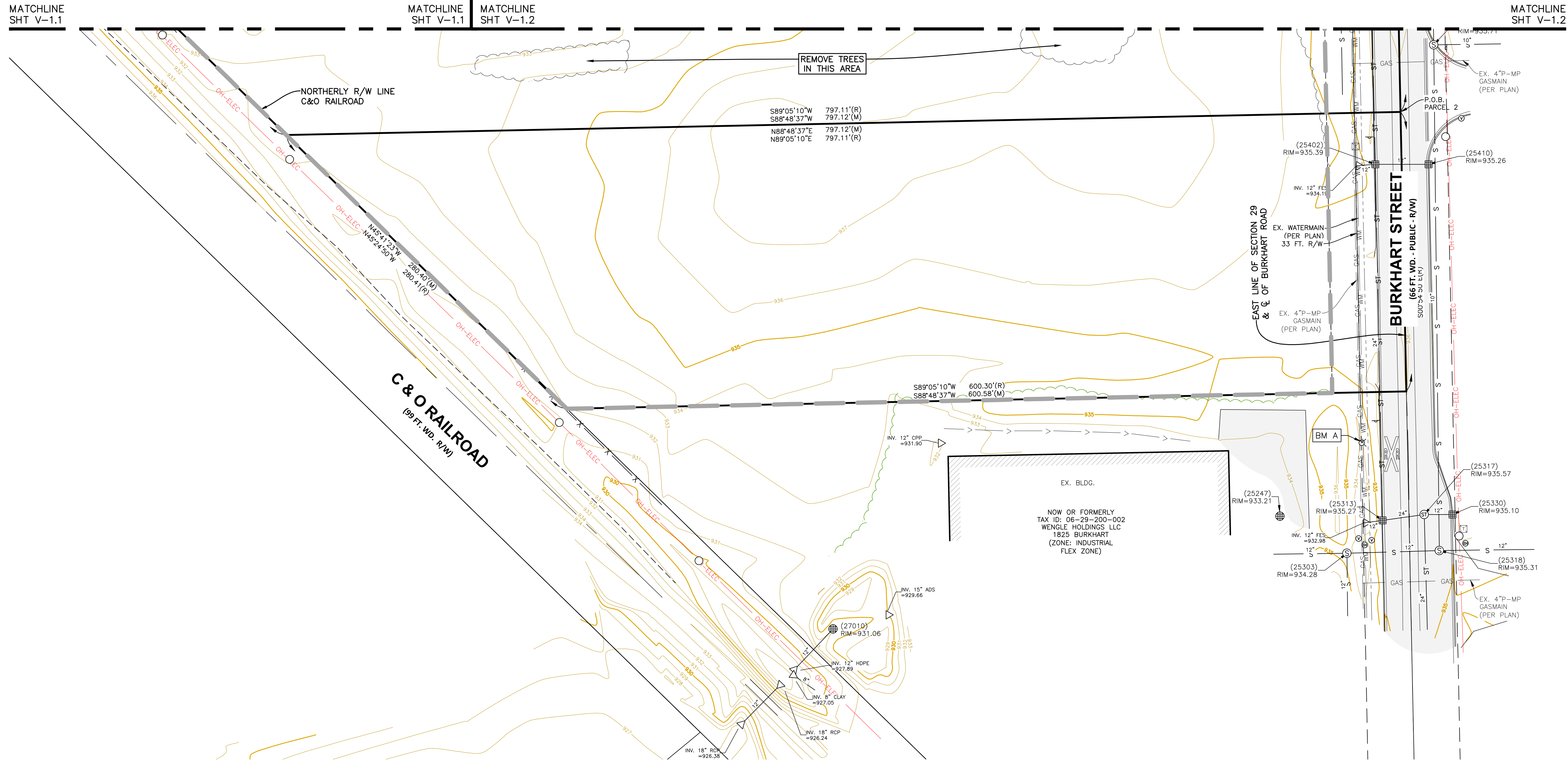
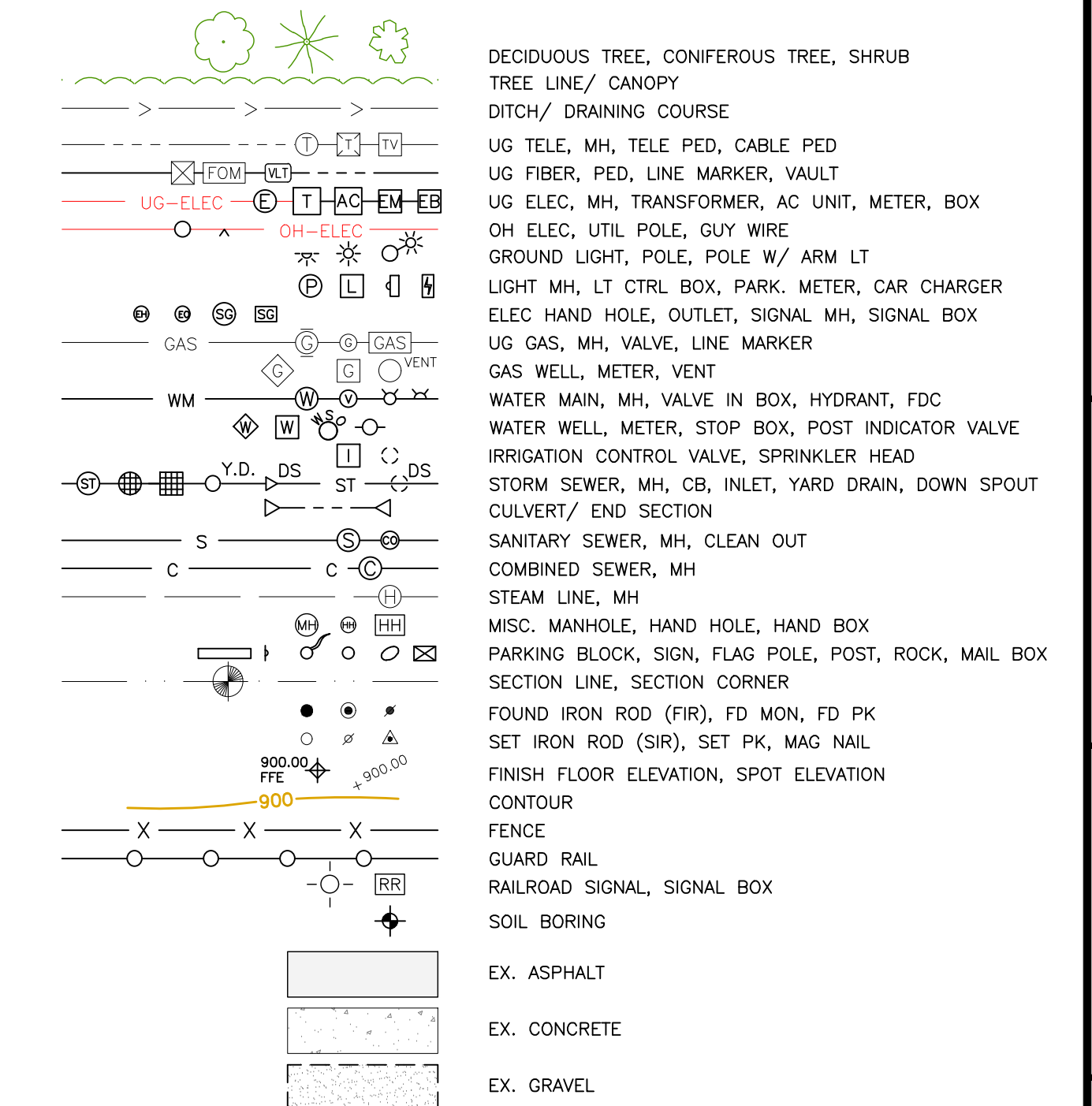
DEMOLITION LEGEND



DEMOLITION NOTES

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EXISTING LEGEND



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ALLAN W. PRUSS
ENGINEER
NO. 6201043168

Allan W. Pruss

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CLIENT :

CHESTNUT DEVELOPMENT, LLC
3800 CHILSON ROAD
HOWELL, MI 48843

POC: STEVE GRONOW
517-552-2489

TOPO SURVEY & DEMO PLAN - SOUTH

CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN

PLAN SUBMITTALS/REVISIONS	DATE
PRELIMINARY/FINAL SITE PLAN SUBMITTAL	5/28/2024
REVISED SITE PLAN SUBMISSION	5/30/2024

ORIGINAL ISSUE DATE:
02/29/2024

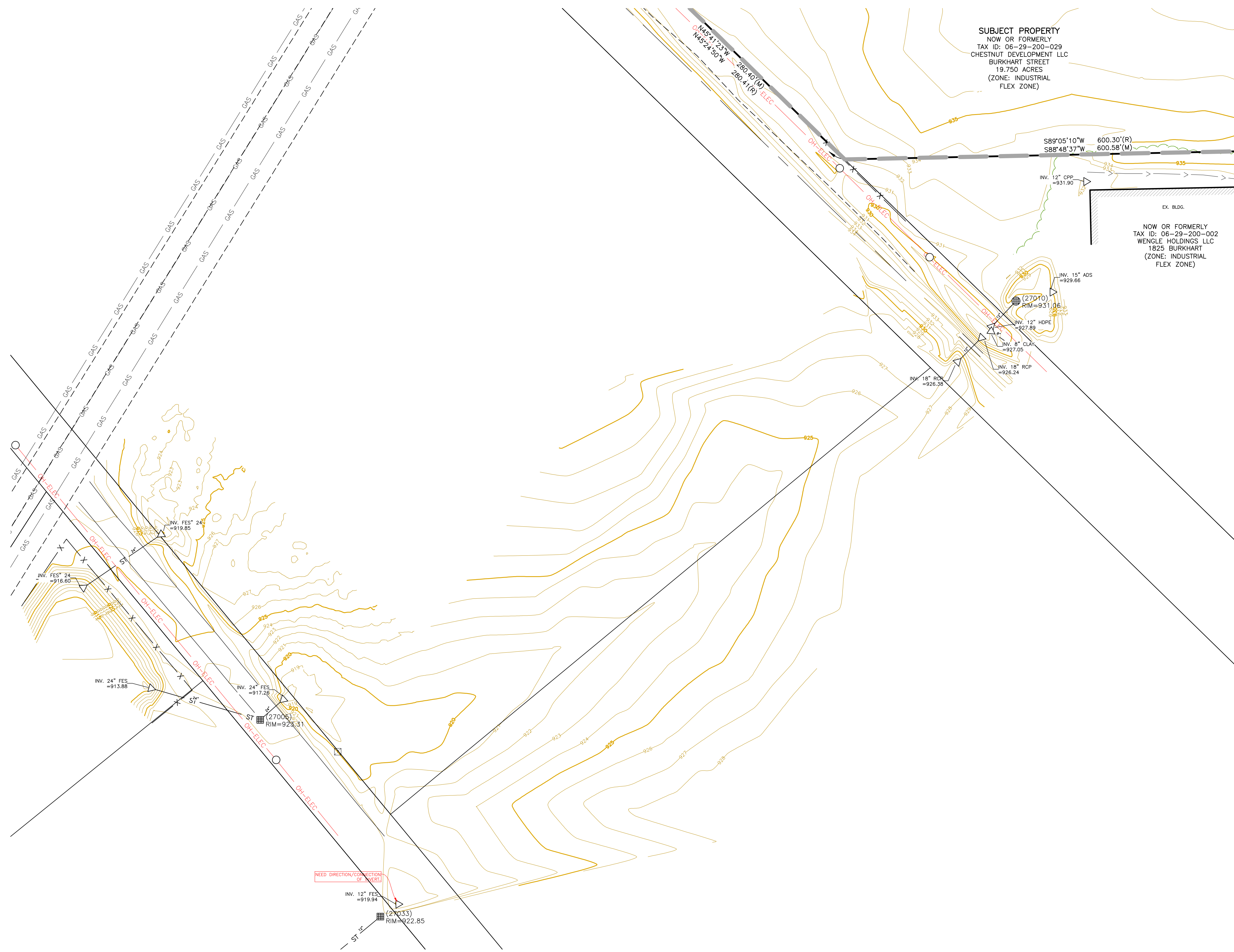
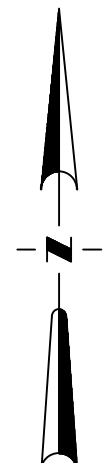
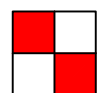
PROJECT NO: 22-286

SCALE: 1" = 40'
0 1/2" 1"

FIELD:
DRAWN BY: CD
DESIGN BY: BS
CHECK BY: AP

V-13

NOT FOR CONSTRUCTION



EXISTING LEGEND

- DECIDUOUS TREE, CONIFEROUS TREE, SHRUB
- TREE LINE/ CANOPY
- DITCH/ DRAINING COURSE
- UG TELE, MH, TELE PED, CABLE PED
- UG FIBER, PED, LINE MARKER, VAULT
- UG ELEC, MH, TRANSFORMER, AC UNIT, METER, BOX
- OH ELEC, UTIL POLE, GUY WIRE
- GROUND LIGHT, POLE, POLE W/ ARM LT
- LIGHT MH, LT CTRL BOX, PARK. METER, CAR CHARGER
- ELEC HAND HOLE, OUTLET, SIGNAL MH, SIGNAL BOX
- UG GAS, MH, VALVE, LINE MARKER
- GAS WELL, METER, VENT
- WATER MAIN, MH, VALVE IN BOX, HYDRANT, FDC
- WATER WELL, METER, STOP BOX, POST INDICATOR VALVE
- IRRIGATION CONTROL VALVE, SPRINKLER HEAD
- STORM SEWER, MH, CB, INLET, YARD DRAIN, DOWN SPOUT
- CULVERT/ END SECTION
- SANITARY SEWER, MH, CLEAN OUT
- COMBINED SEWER, MH
- STEAM LINE, MH
- MISC. MANHOLE, HAND HOLE, HAND BOX
- PARKING BLOCK, SIGN, FLAG POLE, POST, ROCK, MAIL BOX
- SECTION LINE, SECTION CORNER
- FOUND IRON ROD (FIR), FD MON, FD PK
- SET IRON ROD (SIR), SET PK, MAG NAIL
- FINISH FLOOR ELEVATION, SPOT ELEVATION
- CONTOUR
- FENCE
- GUARD RAIL
- RAILROAD SIGNAL, SIGNAL BOX
- SOIL BORING
- EX. ASPHALT
- EX. CONCRETE
- EX. GRAVEL

STRUCTURE SCHEDULE

EX. SANITARY SEWER			EX. STORM SEWER		
STRUCTURE	RIM ELEV.	PIPES	STRUCTURE	RIM ELEV.	PIPES
(25303) SMH	934.28	12" E IE= 922.78 12" W IE= 920.08 12" S IE= 920.08	(25313) CBS	935.27	24" E IE= 930.38 24" N IE= 930.37 12" W IE= 931.57
(25318) SMH	935.31	12" W IE= 922.51 12" E IE= 922.61 10" N IE= 922.71	(25317) STMH	935.57	12" E IE= 930.47 24" W IE= 929.57 24" S IE= 929.57
(25428) SMH	935.71	10" S IE= 921.91 10" N IE= 921.91 10" E IE= 922.31	(25402) CBS	935.39	24" S IE= 930.60 18" N IE= 930.80 12" E IE= 931.40 12" W IE= 932.00
(25578) SMH	937.09	10" S IE= 922.71 10" N IE= 924.79	(25410) CBS	935.26	12" W IE= 931.66
(25683) SMH	939.44	10" N IE= 926.24 10" S IE= 926.14	(25496) CBS	936.51	12" W IE= 931.91
			(25503) CBS	936.52	18" S IE= 931.32 12" E IE= 931.52 18" N IE= 931.52
			(25530) CBS	935.10	12" W IE= 930.70
			(25564) CBS	937.17	18" S IE= 932.27 12" E IE= 932.67 18" N IE= 932.27
			(25579) CBS	937.08	12" W IE= 932.68
			(25675) CBS	938.76	18" S IE= 933.46 18" E IE= 933.46 18" N IE= 933.46
			(25682) CBS	938.74	18" W IE= 933.54

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CLIENT :

CHESTNUT DEVELOPMENT, LLC
3800 CHILSON ROAD
HOWELL, MI 48843

POC: STEVE GRONOW
517-552-2489

OFF-SITE TOPOGRAPHIC SURVEY

CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN

PLAN SUBMITTALS/REVISIONS	DATE
PRELIMINARY/FINAL SITE PLAN SUBMITTAL	5/28/2024
REVISED SITE PLAN SUBMISSION	5/30/2024

ORIGINAL ISSUE DATE:
02/29/2024

PROJECT NO: 22-286

SCALE: 1" = 40'
0 1/2" 1"

FIELD:
DRAWN BY: CD
DESIGN BY: BS
CHECK BY: AP

V-14

NOT FOR CONSTRUCTION

ZONING INFORMATION

THIS ZONING INFORMATION IS TAKEN FROM HOWELL TOWNSHIP ZONING ORDINANCE
DATED: JANUARY 4, 2021

SUBJECT PARCEL ZONING: (IFZ) INDUSTRIAL FLEX ZONE	SUBJECT PARCEL		PROPOSED BUILDING		MAXIMUM HEIGHT OF BUILDING		BUILDING SETBACKS (FT)			PARKING SETBACKS (FT)			SIGN SETBACK (FT)	MAXIMUM % OF IMPERVIOUS SURFACE
	AREA (AC)	WIDTH AT BUILDING SITE (FT)	BLDG A AREA (SF)	BLDG B AREA (SF)	IN STORIES	IN FEET	FRONT (E)	SIDE (N,S)	REAR (W)	FRONT (E)	SIDE (N,S)	REAR (W)		
REQUIRED	2.0	120	N/A	N/A	N/A	70	35	10 MIN, 25 TOTAL	10	35	10 MIN, 25 TOTAL	10	10	75%
PROVIDED	19.75	N/A	6400	2400	-	-	35	10 MIN, 25 TOTAL	10	35	10 MIN, 25 TOTAL	10	-	52.9%

ADJACENT ZONING

NORTH: (IFZ) INDUSTRIAL FLEX ZONE
SOUTH: (IFZ) INDUSTRIAL FLEX ZONE
EAST: BURKHART ROAD R.O.W.
WEST: C & O RAILROAD R.O.W.

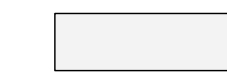



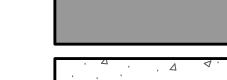
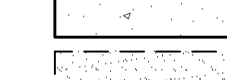
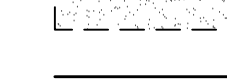
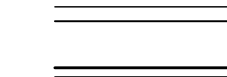

% OF IMPERVIOUS SURFACES

BUILDINGS AND IMPERVIOUS SURFACES:
ASPHALT PAVEMENT = 267,502 SF
STORAGE BUILDINGS = 187,600 SF
TOTAL IMPERVIOUS = 455,102 SF

SUBJECT PARCEL AC * 43,560 SF/AC = SUBJECT PARCEL SF
19.75 AC * 43,560 SF/AC = 860,310 SF

SUM OF IMPERVIOUS SURFACES SF / SUBJECT PARCEL SF = XX%
455,102 SF / 860,310 SF = 0.5289 = 52.9%

PAVEMENT LEGEND

-  EX. ASPHALT
-  EX. CONCRETE
-  EX. GRAVEL
-  PR. STANDARD DUTY ASPHALT
-  PR. HEAVY DUTY ASPHALT
-  PR. CONCRETE
-  PR. GRAVEL
-  STANDARD CURB AND GUTTER
-  REVERSE CURB AND GUTTER

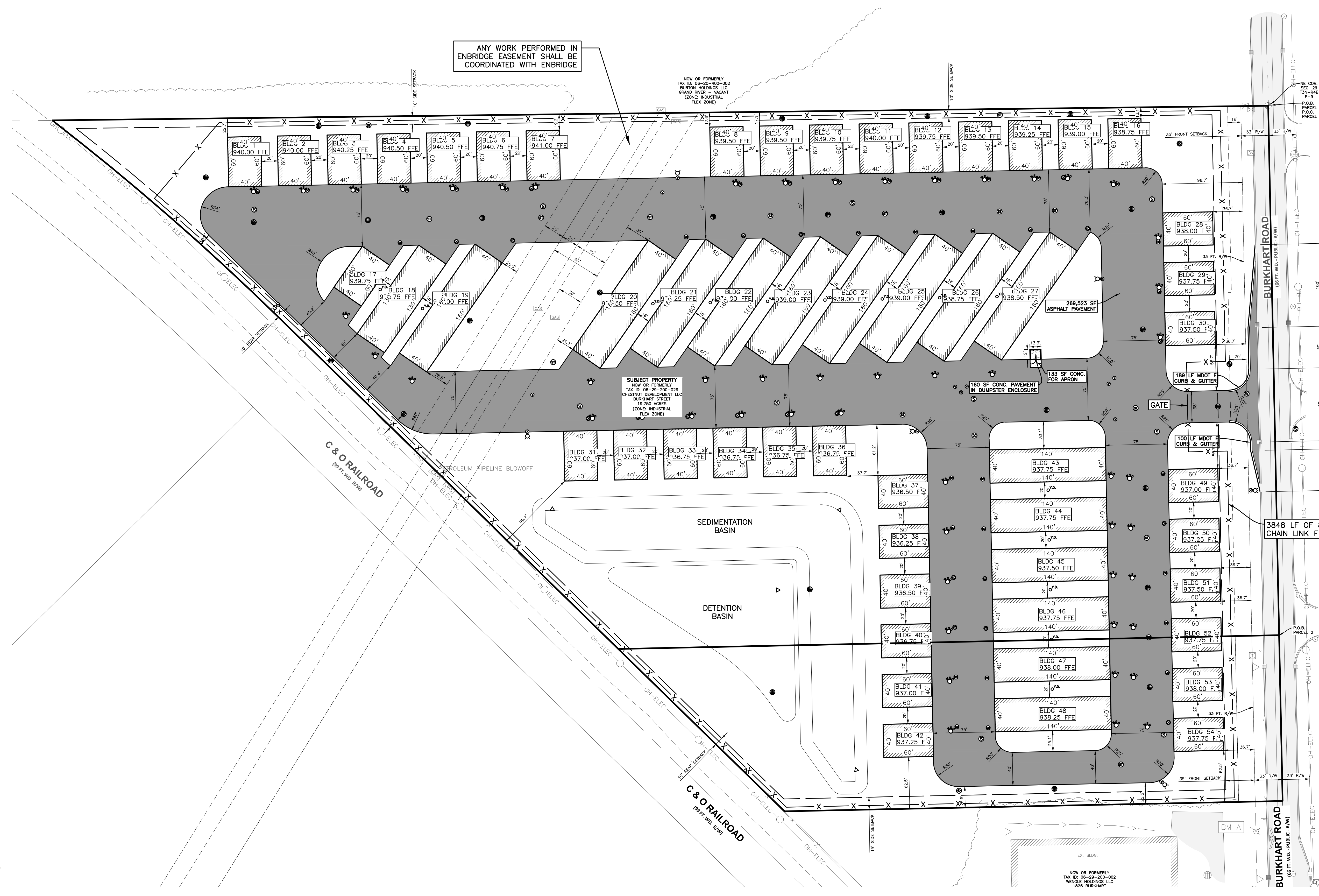
NOTES

- DUMPSTER ENCLOSURES SHALL BE CONSTRUCTED OF THE SAME BRICK MATERIAL AS THE ADJACENT BUILDINGS.
- SCREENING SHALL BE PROVIDED FOR ALL MECHANICAL EQUIPMENT.

HEAVY DUTY HMA PAVEMENT SECTION

Applies to: On-Site Pavement

- 2" MDOT 13A WEARING COURSE
- 3" MDOT 13A LEVELING COURSE
- 8" MDOT 21A CRUSHED AGG. BASE COURSE COMPACTED TO 95% MAX. DENSITY (ASTM D-1557)
- SUBGRADE COMPACTED TO 95% MAXIMUM DENSITY (ASTM D-1557) (MODIFIED PROCTOR)



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ALLAN W. PRUSS
ENGINEER
NO. 6201043168

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CLIENT :
CHESTNUT DEVELOPMENT, LLC
3800 CHILSON ROAD
HOWELL, MI 48843
POC: STEVE GRONOW
517-552-2489

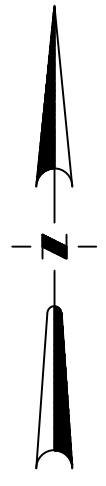
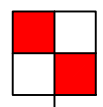
DIMENSION AND PAVING PLAN-OVERALL
CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN

DATE	DESCRIPTION
5/28/2024	PRELIMINARY/FINAL SITE PLAN SUBMITTAL
5/30/2024	REVISED SITE PLAN SUBMISSION

ORIGINAL ISSUE DATE:
02/29/2024
PROJECT NO: 22-286
SCALE: 1" = 60'
FIELD:
DRAWN BY: CD
DESIGN BY: BS
CHECK BY: AP

C-10

NOT FOR CONSTRUCTION



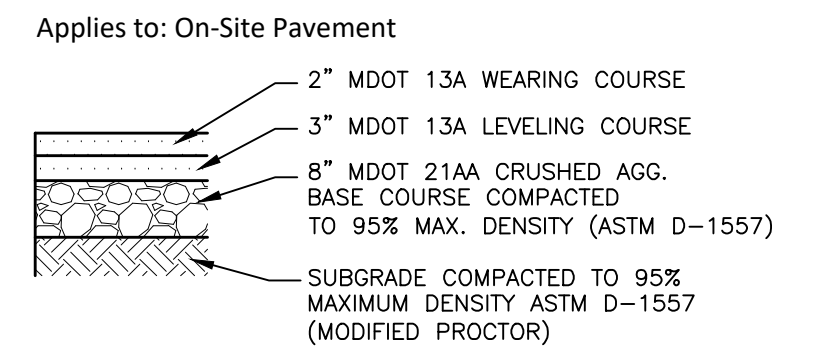
PAVEMENT LEGEND

	EX ASPHALT
	EX CONCRETE
	EX GRAVEL
	PR STANDARD DUTY ASPHALT
	PR HEAVY DUTY ASPHALT
	PR CONCRETE
	PR GRAVEL
	STANDARD CURB AND GUTTER
	REVERSE CURB AND GUTTER

NOTES

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- SCREENING SHALL BE PROVIDED FOR ALL MECHANICAL EQUIPMENT.

HEAVY DUTY HMA PAVEMENT SECTION



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HOWELL, MI 48843

POC: STEVE GRONOW
517-552-2489

DIMENSION AND PAVING PLAN - WEST

CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN

DATE	DESCRIPTION
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5/30/2024	REVISED SITE PLAN SUBMISSION

ORIGINAL ISSUE DATE: 02/29/2024

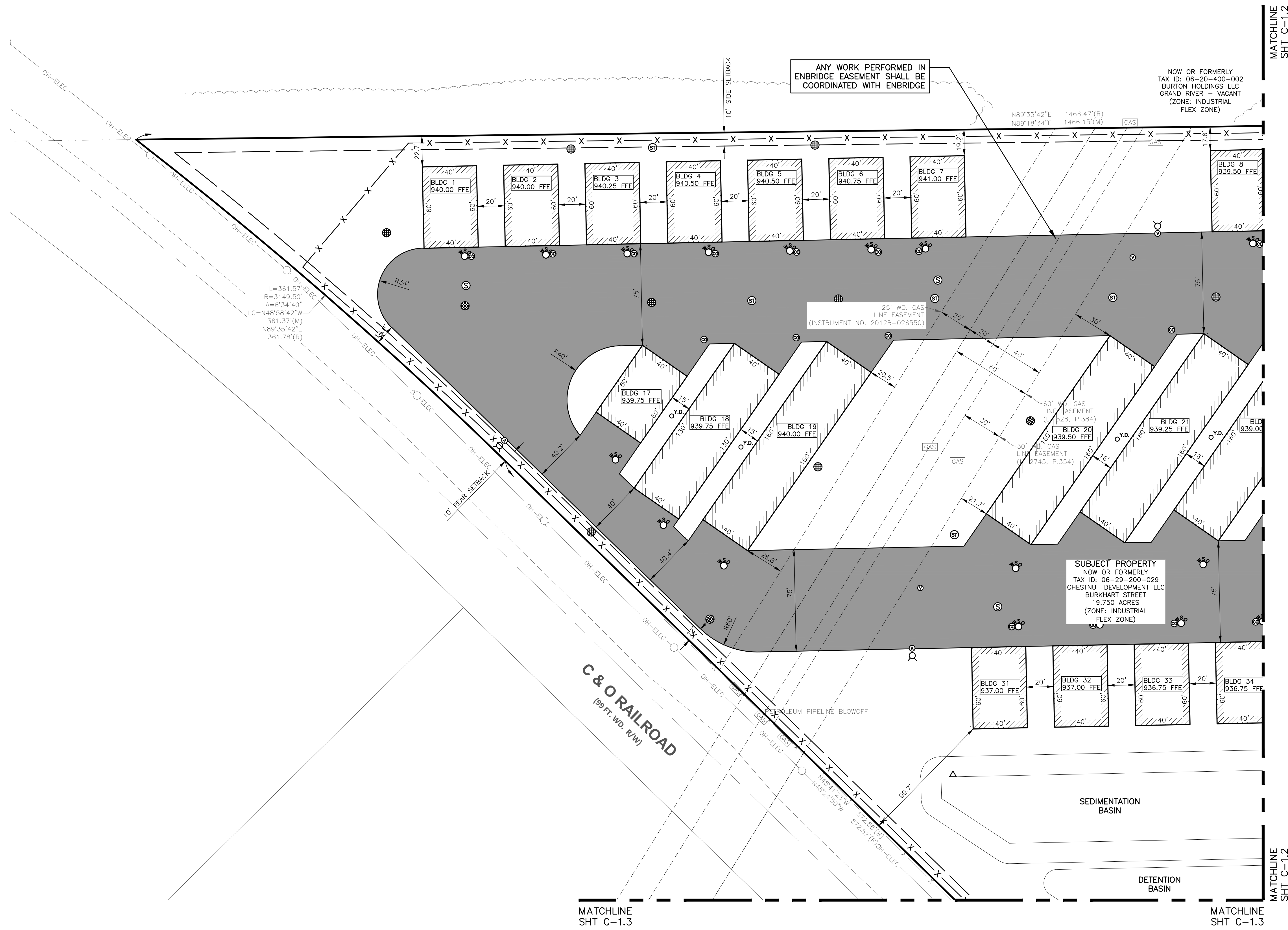
PROJECT NO: 22-286

SCALE: 1" = 40'
0 1/2" 1"

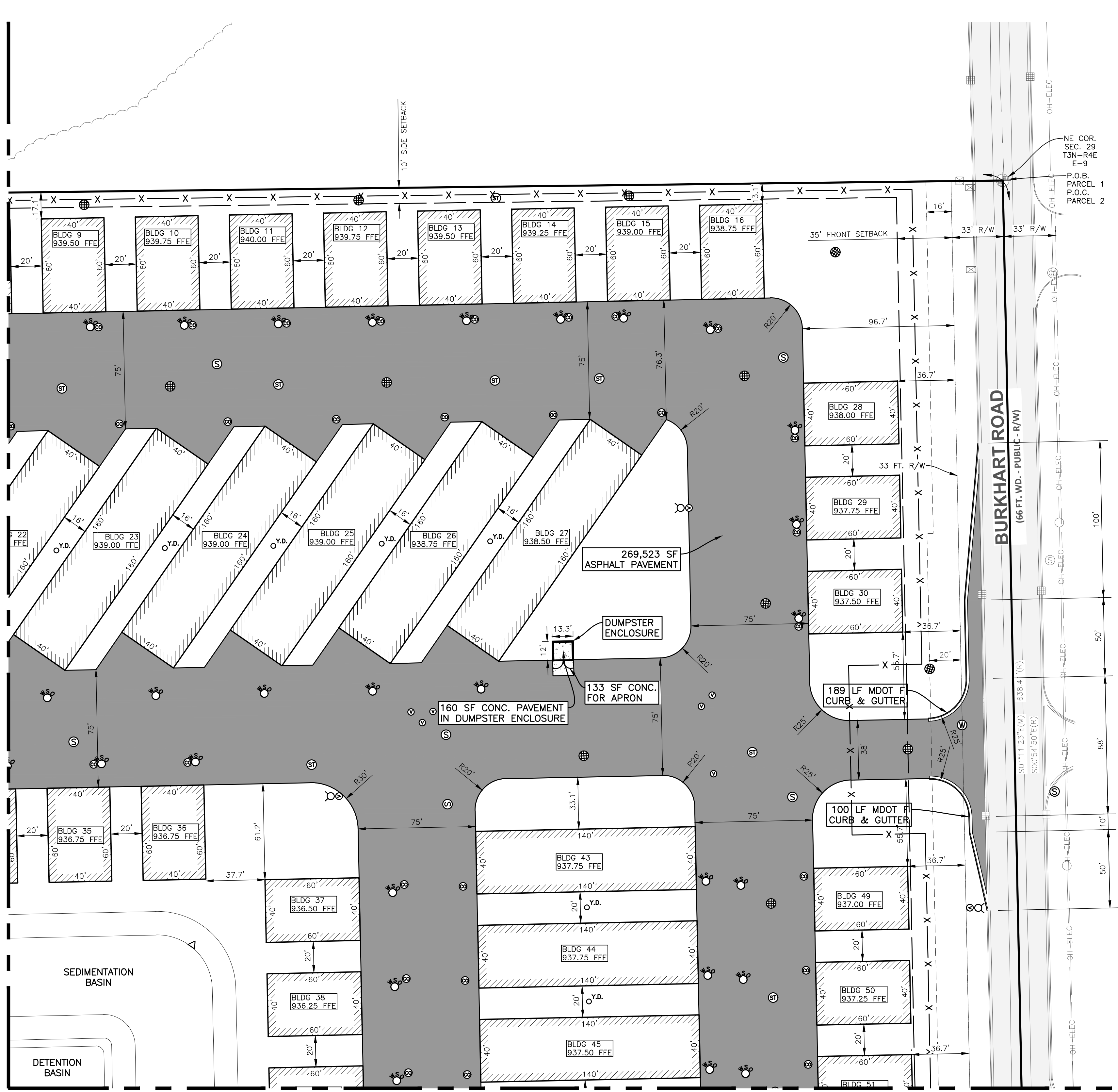
FIELD:
DRAWN BY: CD
DESIGN BY: BS
CHECK BY: AP

C-11

NOT FOR CONSTRUCTION

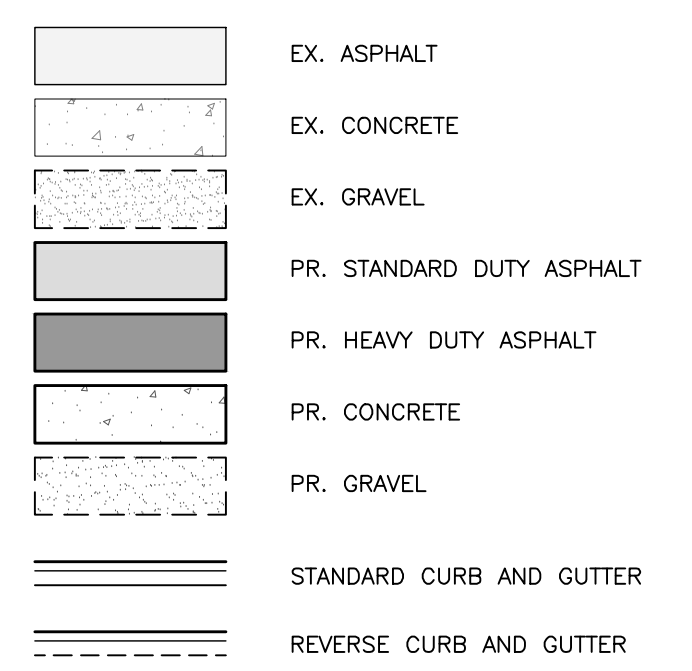


MATCHLINE
SHT C-1.1

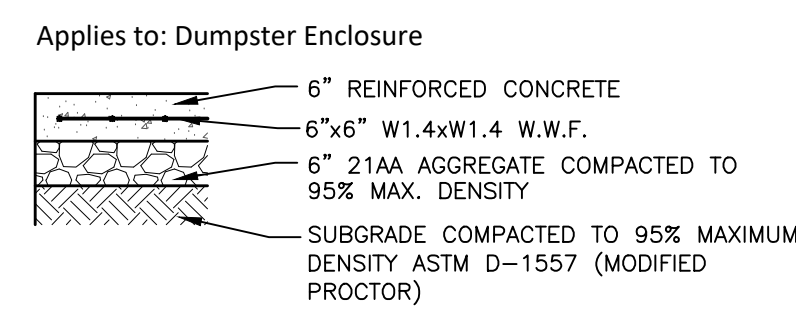


MATCHLINE
SHT C-1.3

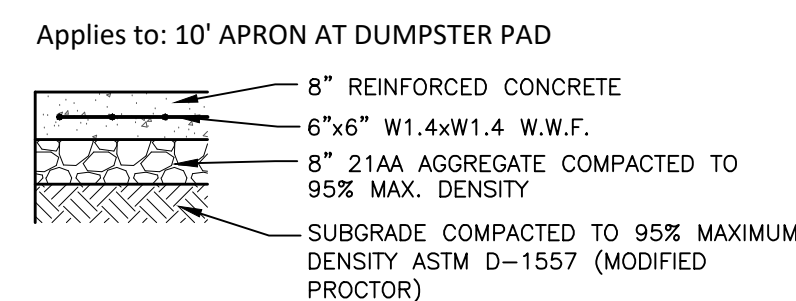
PAVEMENT LEGEND



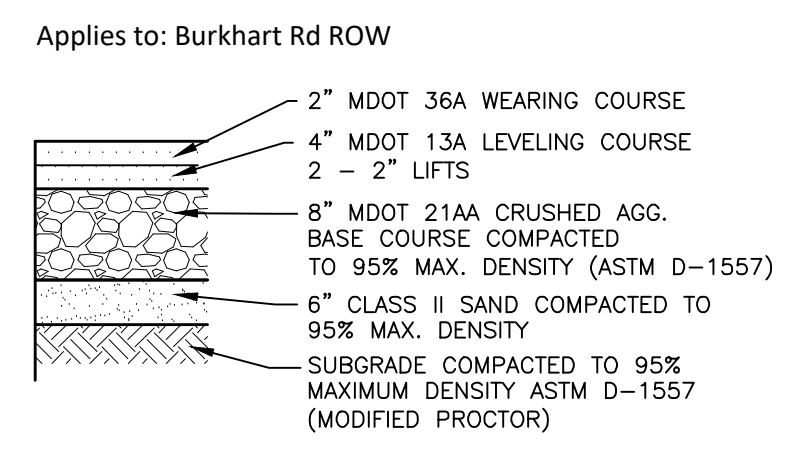
DUMPSTER PAVEMENT SECTION



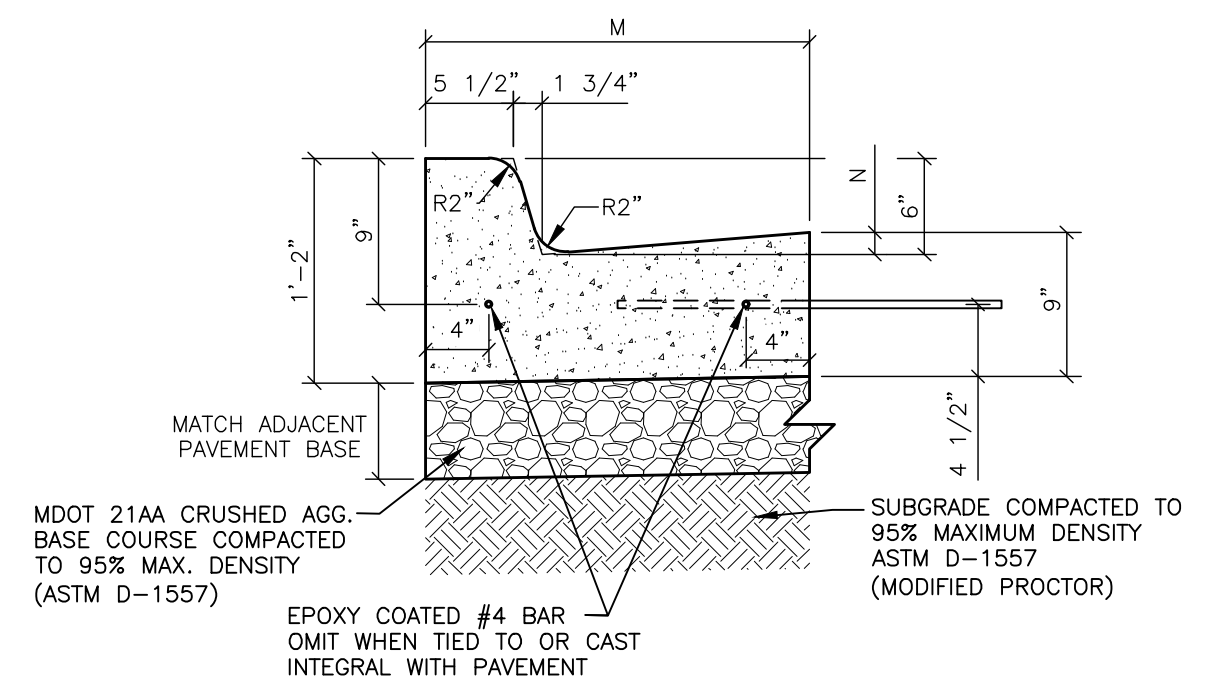
HEAVY DUTY CONCRETE PAVEMENT SECTION



STANDARD DUTY HMA PAVEMENT SECTION



CURB AND GUTTER DETAIL - MDOT - FX - WITH TABLE



DETAIL	DIMENSION		LANE TIES	CONCRETE CYD / LFT
	M	N		
F1	1'-6"	7/8"	AS SHOWN	0.0484
F2	1'-6"	7/8"	OMITTED	0.0484
F3	2'-0"	1 3/8"	AS SHOWN	0.0610
F4	2'-0"	1 3/8"	OMITTED	0.0610
F5	2'-6"	1 7/8"	AS SHOWN	0.0737
F6	2'-6"	1 7/8"	OMITTED	0.0737

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ENGINEER
NO. 6201043168

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CLIENT :

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HOWELL, MI 48843

POC: STEVE GRONOW
517-552-2489

DIMENSION AND PAVING PLAN - EAST

CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN

DATE	DESCRIPTION
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ORIGINAL ISSUE DATE:
02/29/2024

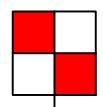
PROJECT NO: 22-286

SCALE: 1" = 40'

FIELD:
DRAWN BY: CD
DESIGN BY: BS
CHECK BY: AP

C-12

NOT FOR CONSTRUCTION



PAVEMENT LEGEND

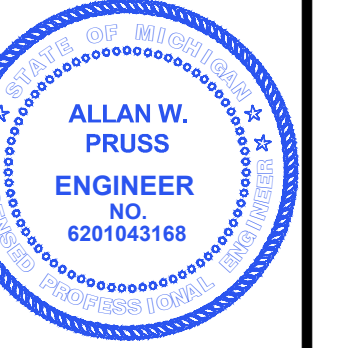
- EX. ASPHALT
- EX. CONCRETE
- EX. GRAVEL
- PR. STANDARD DUTY ASPHALT
- PR. HEAVY DUTY ASPHALT
- PR. CONCRETE
- PR. GRAVEL
- STANDARD CURB AND GUTTER
- REVERSE CURB AND GUTTER

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CLIENT :

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POC: STEVE GRONOW
517-552-2489

DIMENSION AND PAVING PLAN - SOUTH

CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN

PLAN SUBMITTALS/REVISIONS	DATE
PRELIMINARY/FINAL SITE PLAN SUBMITTAL	5/28/2024
REVISED SITE PLAN SUBMISSION	5/30/2024

ORIGINAL ISSUE DATE: 02/29/2024

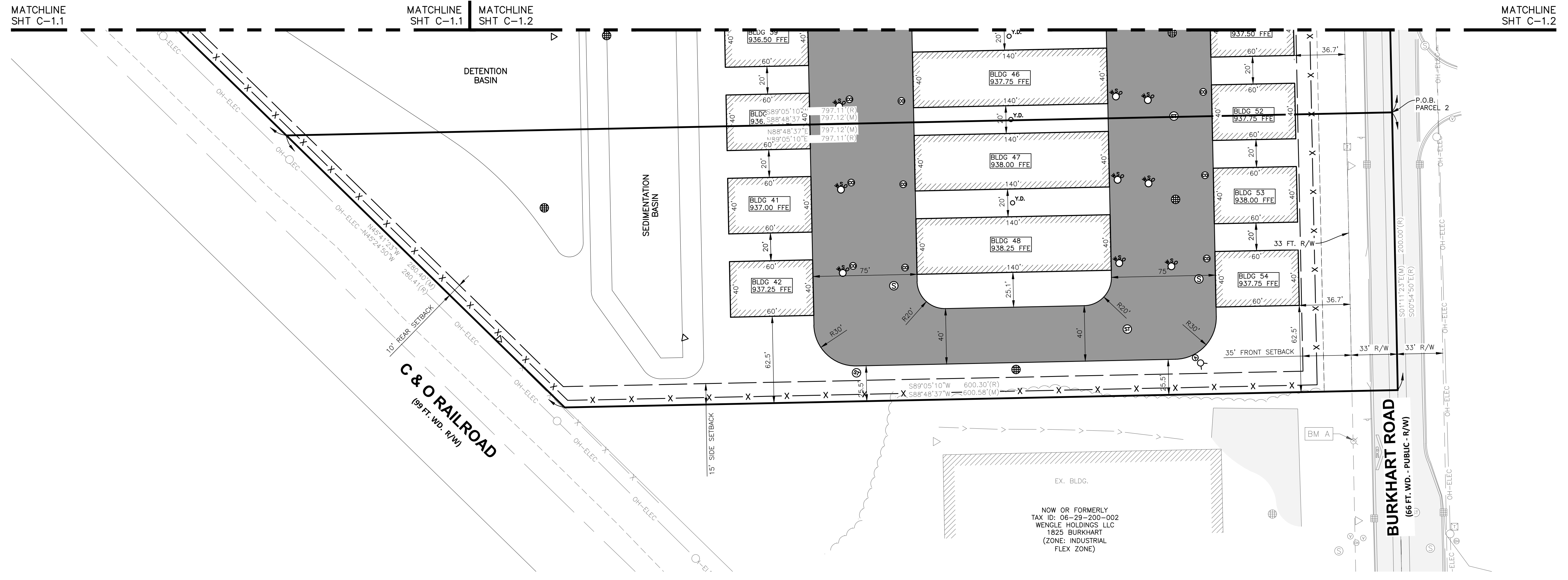
PROJECT NO: 22-286

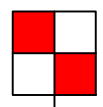
SCALE: 1" = 40'

FIELD:
DRAWN BY: CD
DESIGN BY: BS
CHECK BY: AP

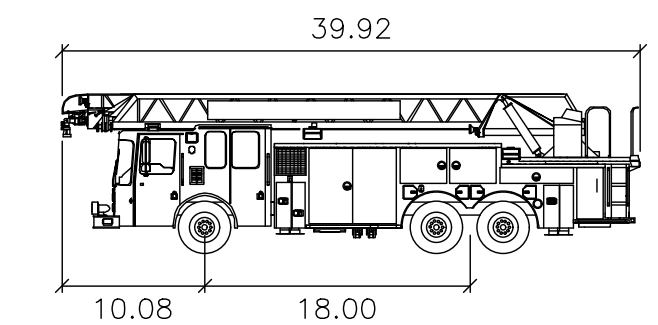
C-13

NOT FOR CONSTRUCTION





EMERGENCY VEHICLE



Smeal Aerial RM 100ft
feet
Width : 8.33
Track : 7.92
Lock to Lock Time : 6.0
Steering Angle : 45.0

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ENGINEER
NO. 6201043168

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HOWELL, MI 48843

POC: STEVE GRONOW
517-552-2489

EMERGENCY VEHICLE CIRCULATION

CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN

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REVISED SITE PLAN SUBMISSION	5/30/2024

ORIGINAL ISSUE DATE:
02/29/2024

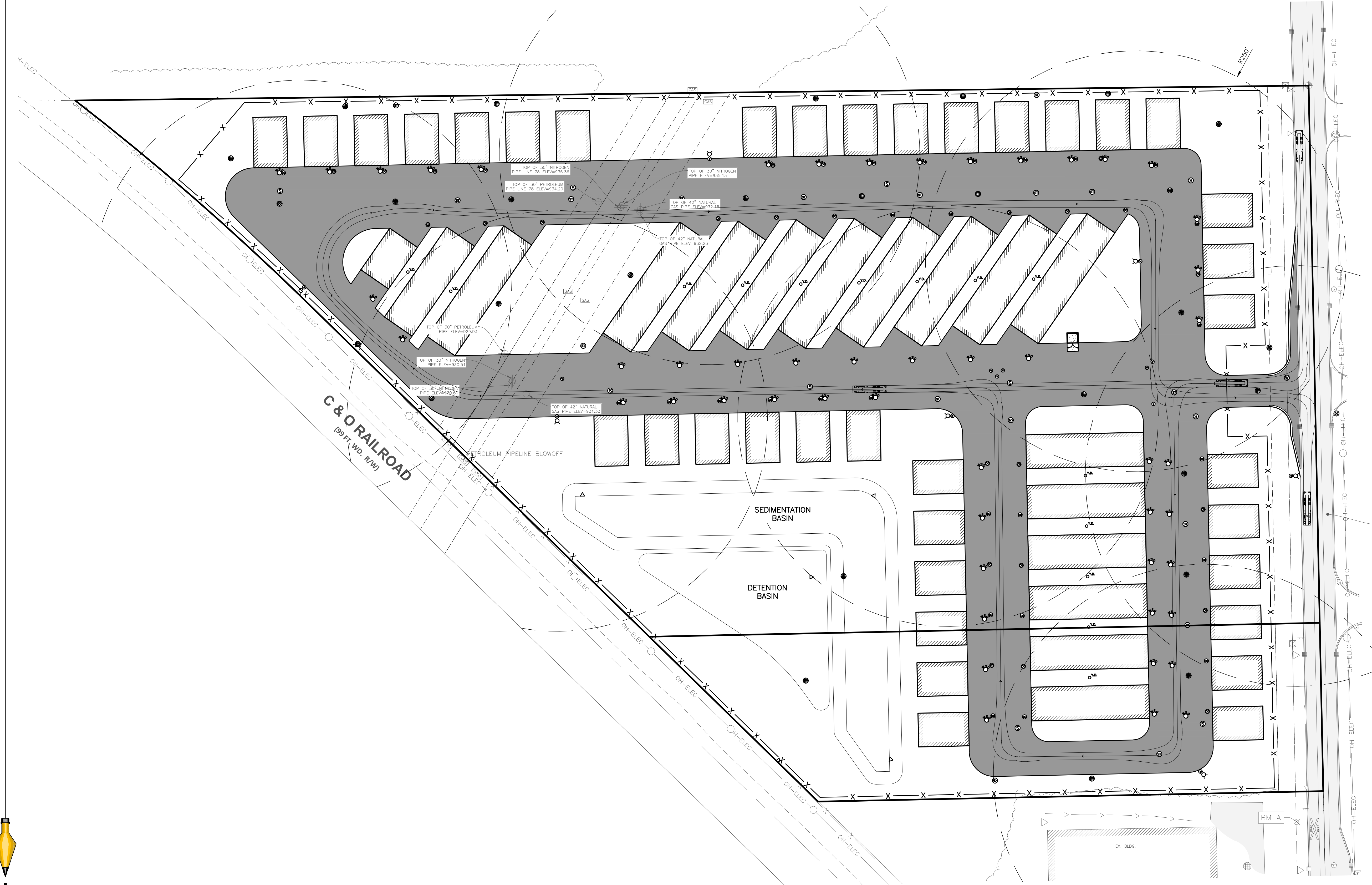
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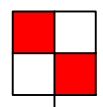
SCALE: 1" = 60'
0 1/2" 1"

FIELD:
DRAWN BY: CD
DESIGN BY: BS
CHECK BY: AP

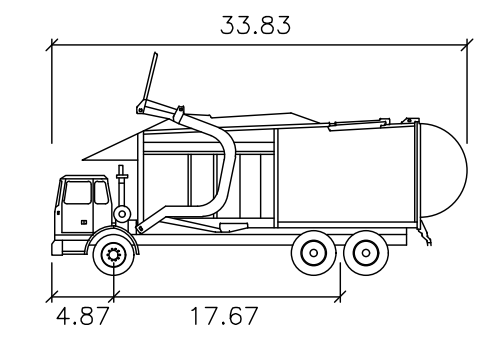
C-2.0

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REFUSE VEHICLE



Wayne Titan
FEET
WIDTH : 8.46
TRACK : 8.00
LOCK TO LOCK TIME : 6.0
STEERING ANGLE : 45.0

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HOWELL, MI 48843

POC: STEVE GRONOW
517-552-2489

REFUSE VEHICLE CIRCULATION

CHESTNUT SELF STORAGE
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ORIGINAL ISSUE DATE: 02/29/2024

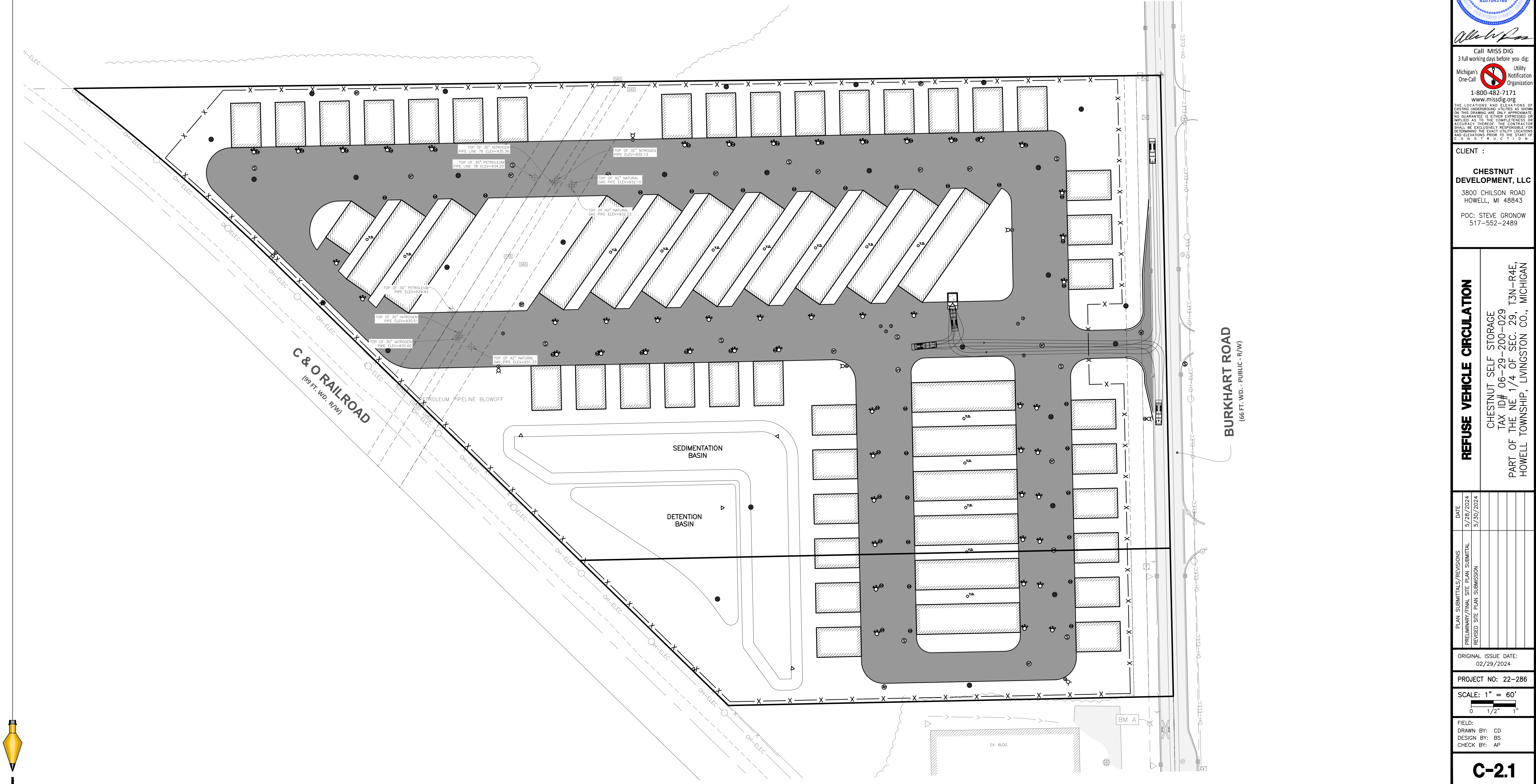
PROJECT NO: 22-286

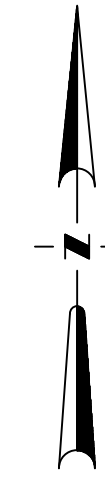
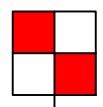
SCALE: 1" = 60'

FIELD:
DRAWN BY: CD
DESIGN BY: BS
CHECK BY: AP

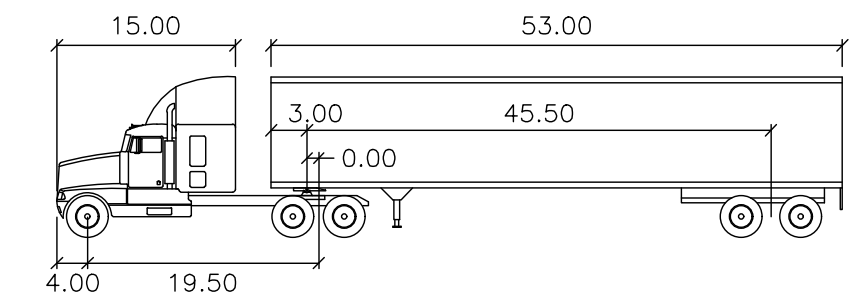
C-2.1

NOT FOR CONSTRUCTION





WB-67 TRUCK & TRAILER



WB-67	FEET		
TRACTOR WIDTH	: 8.00	LOCK TO LOCK TIME	: 6.0
TRAILER WIDTH	: 8.50	STEERING ANGLE	: 28.4
TRACTOR TRACK	: 8.00	ARTICULATING ANGLE	: 75.0
TRAILER TRACK	: 8.50		

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ENGINEER
NO. 6201043168

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3800 CHILSON ROAD
HOWELL, MI 48843

POC: STEVE GRONOW
517-552-2489

WB-67 TRUCK & TRAILER CIRCULATION

CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN

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REVISED SITE PLAN SUBMISSION	5/30/2024

ORIGINAL ISSUE DATE:
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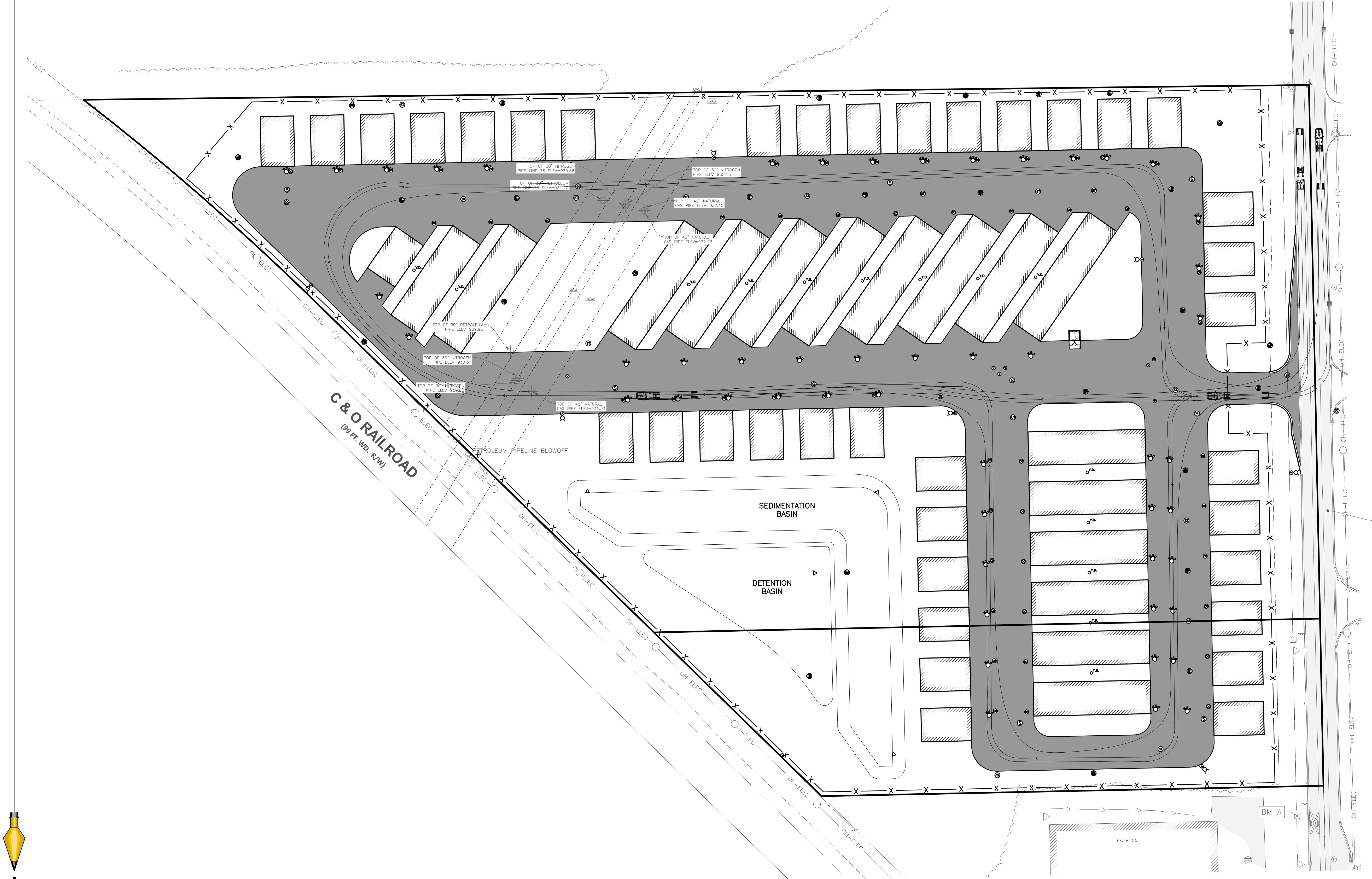
PROJECT NO: 22-286

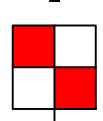
SCALE: 1" = 60'
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FIELD:
DRAWN BY: CD
DESIGN BY: BS
CHECK BY: AP

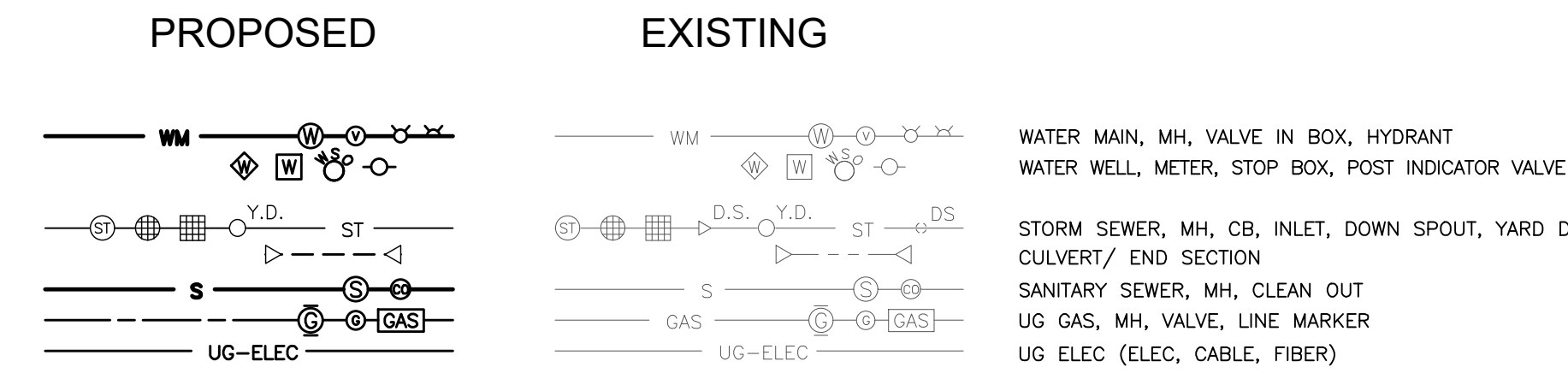
C-2.2

NOT FOR CONSTRUCTION





UTILITY LEGEND



HYDRANT LEADS		
NAME	LENGTH 6" D.I. CL 54 (FT)	LENGTH 8" D.I. CL 54 (FT)
HYD-5	17	0
HYD-6	22	0
HYD-8	15	15
HYD-9	15	34
HYD-13	15	44
HYD-14	15	66

SANITARY SEWER NOTES

- SANITARY "MH" SHALL HAVE EIJJ 1020 FRAME WITH TYPE A COVER.

WATER NOTES

- WATER MAIN TO BE MIN 5.5' DEEP PER MHOG DESIGN STANDARDS.

WATERLEADS			SANITARYLEADS			
UNITNO	LENGTH (FT)	I.E. AT BLDG	UNITNO	LENGTH (FT)	I.E. AT BLDG	
1	13	936.00	1	28	1.00%	936.00
2	14	936.00	2	29	1.00%	936.00
3	14	936.25	3	29	1.00%	936.25
4	15	936.50	4	30	1.00%	936.50
5	15	936.50	5	30	1.00%	936.50
6	16	936.75	6	31	1.00%	936.75
7	16	937.00	7	31	1.00%	937.00
8	19	936.50	8	34	1.00%	936.50
9	19	936.50	9	34	1.00%	936.50
10	20	936.75	10	35	1.00%	936.75
11	20	936.00	11	36	1.00%	936.00
12	21	936.75	12	36	1.00%	936.75
13	21	936.50	13	36	1.00%	936.50
14	22	936.25	14	37	1.00%	936.25
15	22	935.00	15	37	1.00%	935.00
16	28	934.75	16	38	1.00%	934.75
17	42	932.75	17	71	1.00%	932.75
18	51	932.25	18	70	1.00%	932.25
19	39	932.00	19	70	1.00%	932.00
20	36	932.00	20	68	1.00%	932.00
21	37	932.25	21	67	1.00%	932.25
22	37	932.00	22	66	1.00%	932.00
23	37	935.00	23	65	1.00%	935.00
24	37	932.00	24	65	1.00%	932.00
25	37	932.00	25	65	1.00%	932.00
26	37	931.75	26	64	1.00%	931.75
27	37	931.50	27	63	1.00%	931.50
28	62	934.00	28	13	1.00%	934.00
29	62	933.75	29	13	1.00%	933.75
30	62	933.50	30	13	1.00%	933.50
31	45	933.00	31	30	1.00%	933.00
32	45	933.00	32	29	1.00%	933.00
33	44	932.75	33	29	1.00%	932.75
34	44	932.75	34	29	1.00%	932.75
35	44	932.75	35	29	1.00%	932.75
36	44	932.75	36	29	1.00%	932.75
37	43	933.50	37	58	1.00%	933.50
38	43	933.25	38	58	1.00%	933.25
39	43	933.50	39	58	1.00%	933.50
40	43	933.75	40	58	1.00%	933.75
41	43	934.00	41	58	1.00%	934.00
42	43	934.25	42	58	1.00%	934.25
43	12	933.75	43	17	1.00%	933.75
44	12	933.75	44	17	1.00%	933.75
45	12	933.50	45	17	1.00%	933.50
46	12	933.75	46	17	1.00%	933.75
47	12	934.00	47	17	1.00%	934.00
48	12	934.25	48	17	1.00%	934.25
49	63	933.00	49	13	1.00%	933.00
50	63	933.25	50	12	1.00%	933.25
51	63	933.50	51	12	1.00%	933.50
52	63	933.75	52	12	1.00%	933.75
53	63	934.00	53	12	1.00%	934.00
54	63	933.75	54	12	1.00%	933.75

SANITARY SEWER QUANTITIES

QTY	UNIT	ITEM
2,934	LF	8" PVC SDR 26
2,001	LF	6" PVC SDR 23.5
12	EA	4" MANHOLE
1	EA	4" MANHOLE TAP
54	EA	CLEANOUT

NOTE

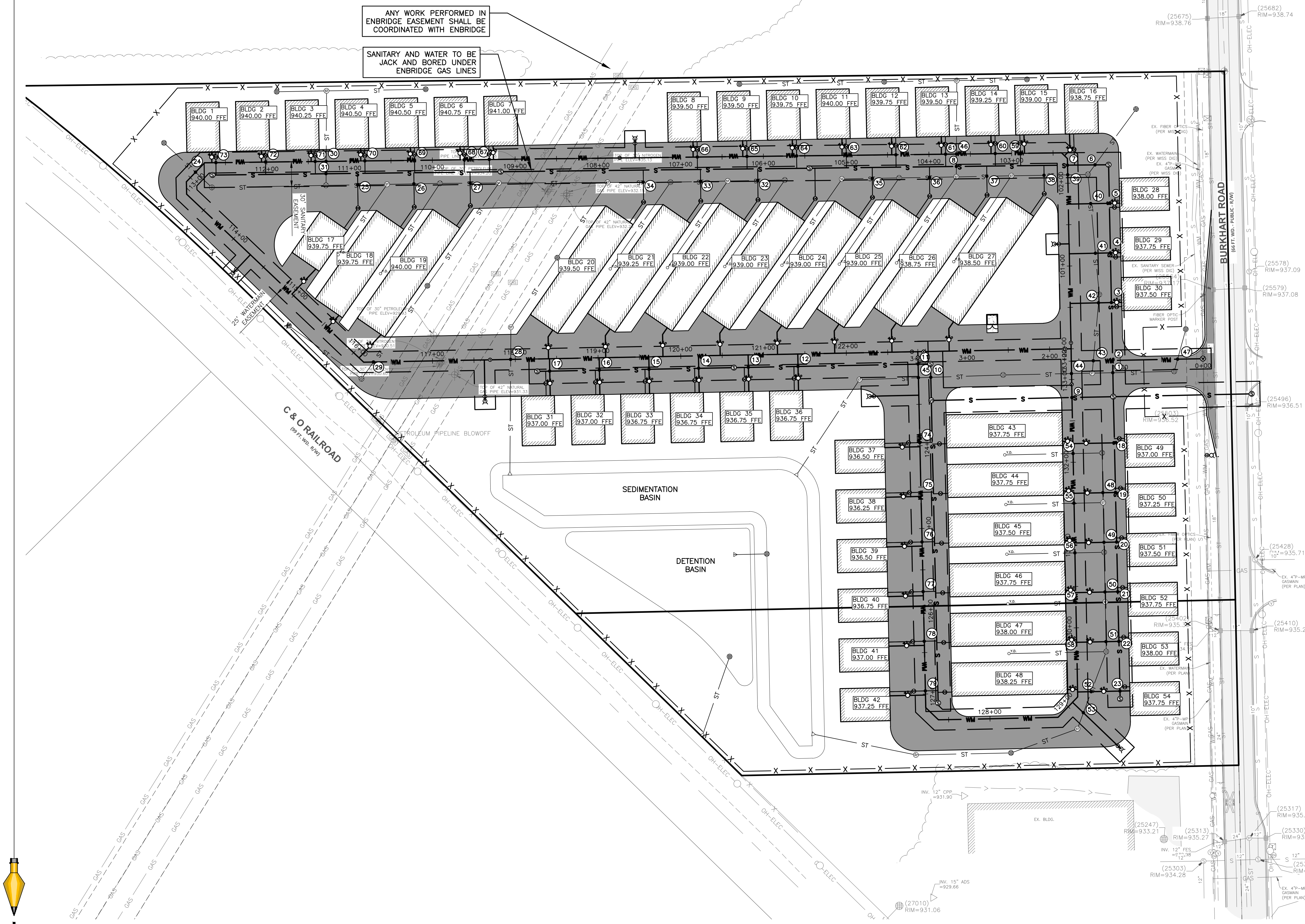
SEE PROFILES ON SHEETS C-3.4 TO C-3.5 FOR QUANTITY DETAILS

WATER MAIN QUANTITIES

QTY	UNIT	ITEM
3,840	LF	8" DI CL 54 WATER MAIN
107	LF	6" DI CL 54 WATER MAIN
1,882	LF	1" TYPE K, COPPER WATER SERVICE
7	EA	8"x8"x8" TEE
3	EA	8"x8"x6" TEE
6	EA	8" 45° BEND
1	EA	12"x8" TSV&W
8	EA	8" GVB
6	EA	STANDARD HYDRANT ASSEMBLY

NOTE

SEE PROFILES ON SHEETS C-3.6 TO C-3.7 FOR QUANTITY DETAILS



INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS

MEGA

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ALLAN W. PRUSS
ENGINEER
NO. 6201043168

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Utility Notification Organization

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www.missdig.org

CLIENT :

CHESTNUT DEVELOPMENT, LLC
3800 CHILSON ROAD
HOWELL, MI 48843

POC: STEVE GRONOW
517-552-2489

SANITARY SEWER & WM PLAN

CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN

DATE	DESCRIPTION
5/28/2024	PRELIMINARY/FINAL SITE PLAN SUBMITTAL
5/30/2024	REVISED SITE PLAN SUBMISSION

ORIGINAL ISSUE DATE:
02/29/2024

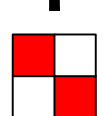
PROJECT NO: 22-286

SCALE: 1" = 40'

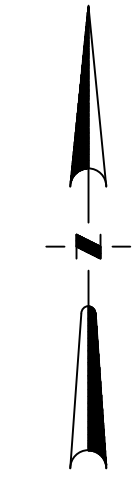
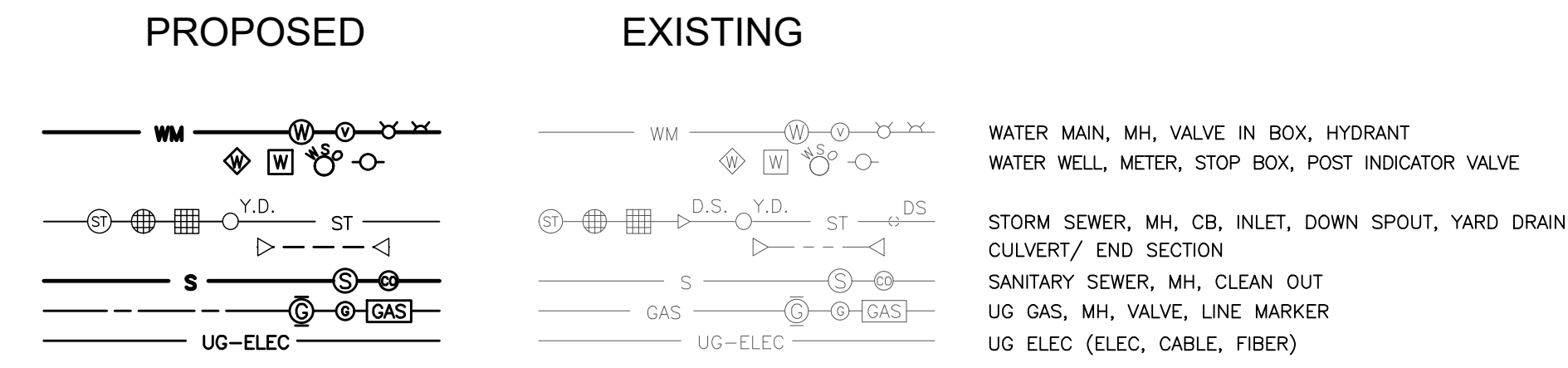
FIELD:
DRAWN BY: CD
DESIGN BY: BS
CHECK BY: AP

C-3.0

NOT FOR CONSTRUCTION



UTILITY LEGEND



SANITARY SEWER NOTES

- SANITARY "MH" SHALL HAVE EJIW 1020 FRAME WITH TYPE A COVER.

WATER NOTES

- WATER MAIN TO BE MIN 5.5' DEEP PER MHOG DESIGN STANDARDS.

INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS

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HOWELL, MI 48843

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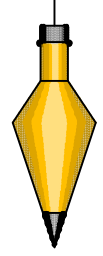
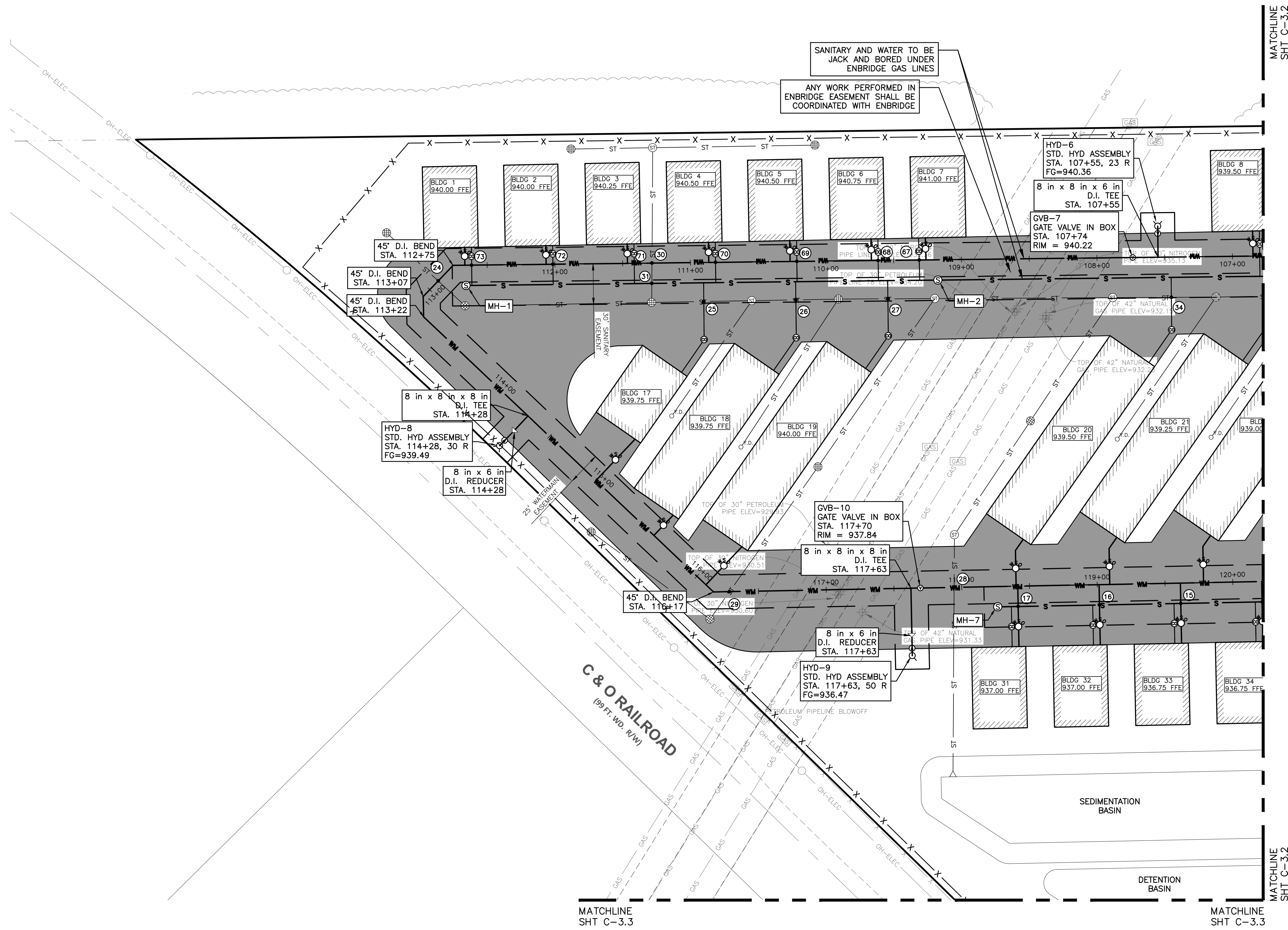
SANITARY SEWER & WM PLAN - WEST

CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN

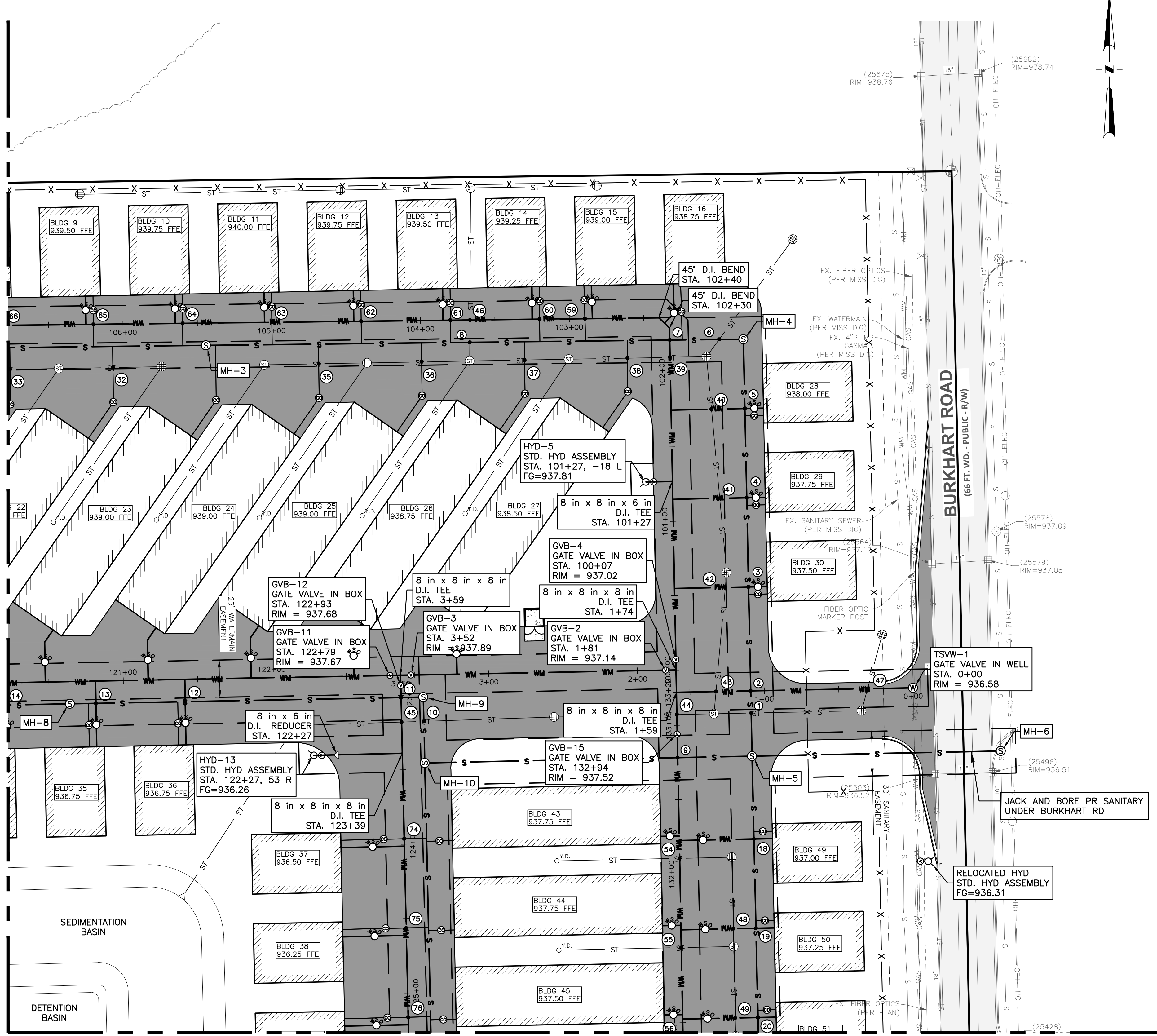
DATE	5/28/2024
PLAN SUBMITTALS/REVISIONS	
PRELIMINARY/FINAL SITE PLAN SUBMITTAL	5/20/2024
REVISED SITE PLAN SUBMISSION	
ORIGINAL ISSUE DATE:	02/29/2024
PROJECT NO:	22-286
SCALE:	1" = 40'
FIELD:	
DRAWN BY:	CD
DESIGN BY:	BS
CHECK BY:	AP

C-3.1

NOT FOR CONSTRUCTION



MATCHLINE
SHT C-3.1

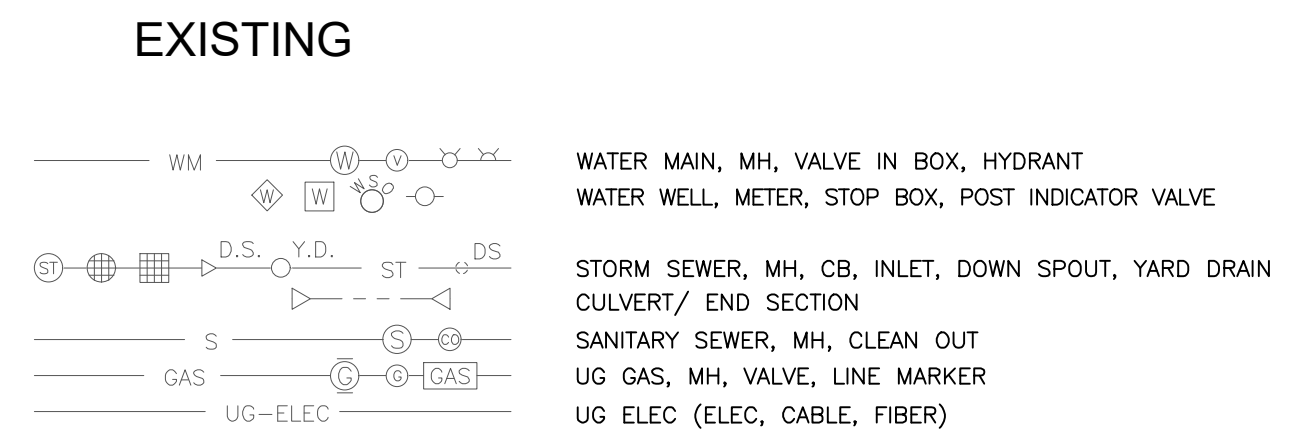
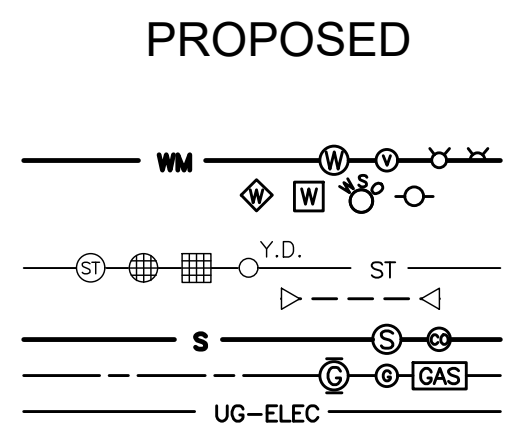


MATCHLINE
SHT C-3.1

MATCHLINE
SHT C-3.3

MATCHLINE
SHT C-3.3

UTILITY LEGEND



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ALLAN W. PRUSS
ENGINEER
NO. 6201043168

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CLIENT :

CHESTNUT DEVELOPMENT, LLC
3800 CHILSON ROAD
HOWELL, MI 48843

POC: STEVE GRONOW
517-552-2489

SANITARY SEWER & WM PLAN - EAST

CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN

PLAN SUBMITTALS/REVISIONS	DATE
PRELIMINARY/FINAL SITE PLAN SUBMITTAL	5/28/2024
REVISED SITE PLAN SUBMISSION	5/30/2024

ORIGINAL ISSUE DATE:
02/29/2024

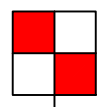
PROJECT NO: 22-286

SCALE: 1" = 40'

FIELD:
DRAWN BY: CD
DESIGN BY: BS
CHECK BY: AP

C-3.2

NOT FOR CONSTRUCTION



UTILITY LEGEND

PROPOSED	EXISTING	
		WATER MAIN, MH, VALVE IN BOX, HYDRANT
		WATER WELL, METER, STOP BOX, POST INDICATOR VALVE
		STORM SEWER, MH, CB, INLET, DOWN SPOUT, YARD DRAIN
		CULVERT/ END SECTION
		SANITARY SEWER, MH, CLEAN OUT
		UG GAS, MH, VALVE, LINE MARKER
		UG ELEC (ELEC, CABLE, FIBER)

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NO. 6201043168

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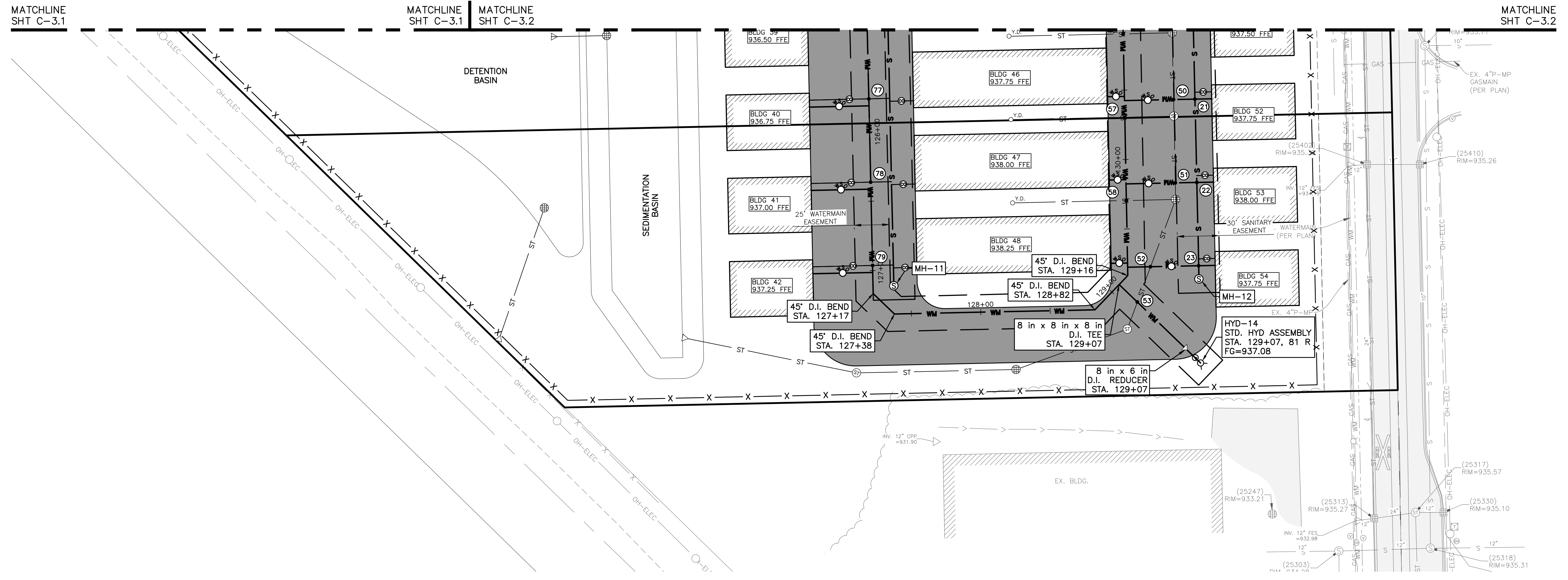
CLIENT :

CHESTNUT DEVELOPMENT, LLC
3800 CHILSON ROAD
HOWELL, MI 48843

POC: STEVE GRONOW
517-552-2489

SANITARY SEWER & WM PLAN - SOUTH

CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN



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PRELIMINARY/FINAL SITE PLAN SUBMITTAL	5/28/2024
REVISED SITE PLAN SUBMISSION	5/30/2024

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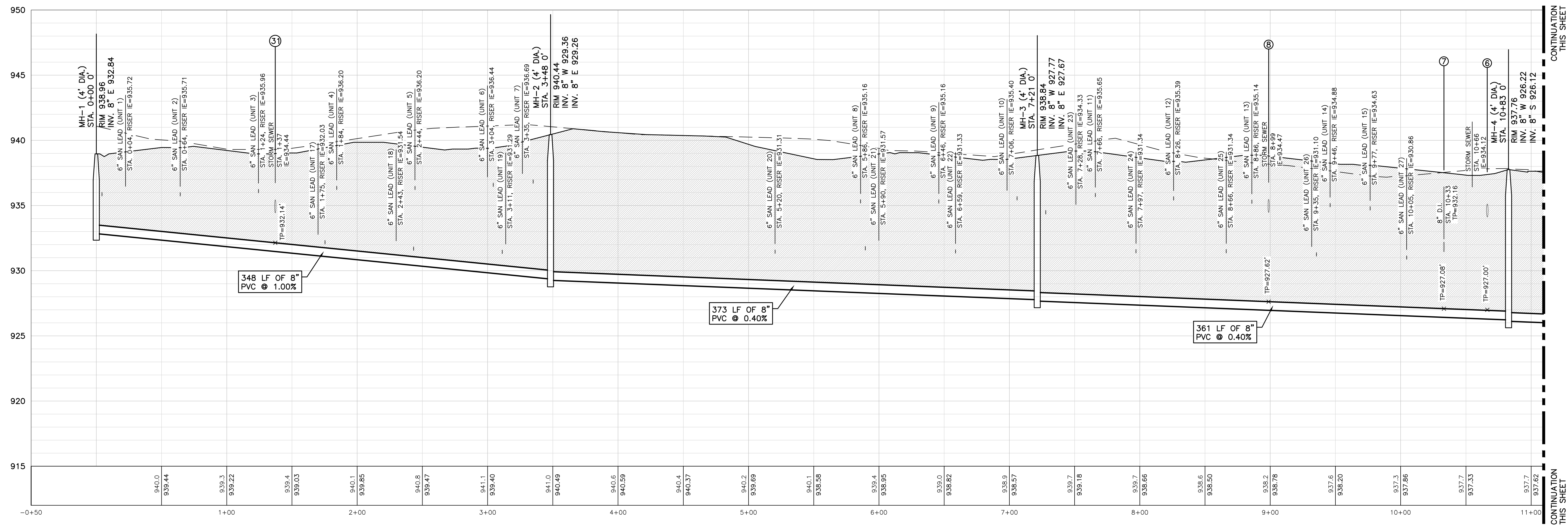
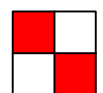
PROJECT NO: 22-286

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0 1/2" 1"

FIELD:
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DESIGN BY: BS
CHECK BY: AP

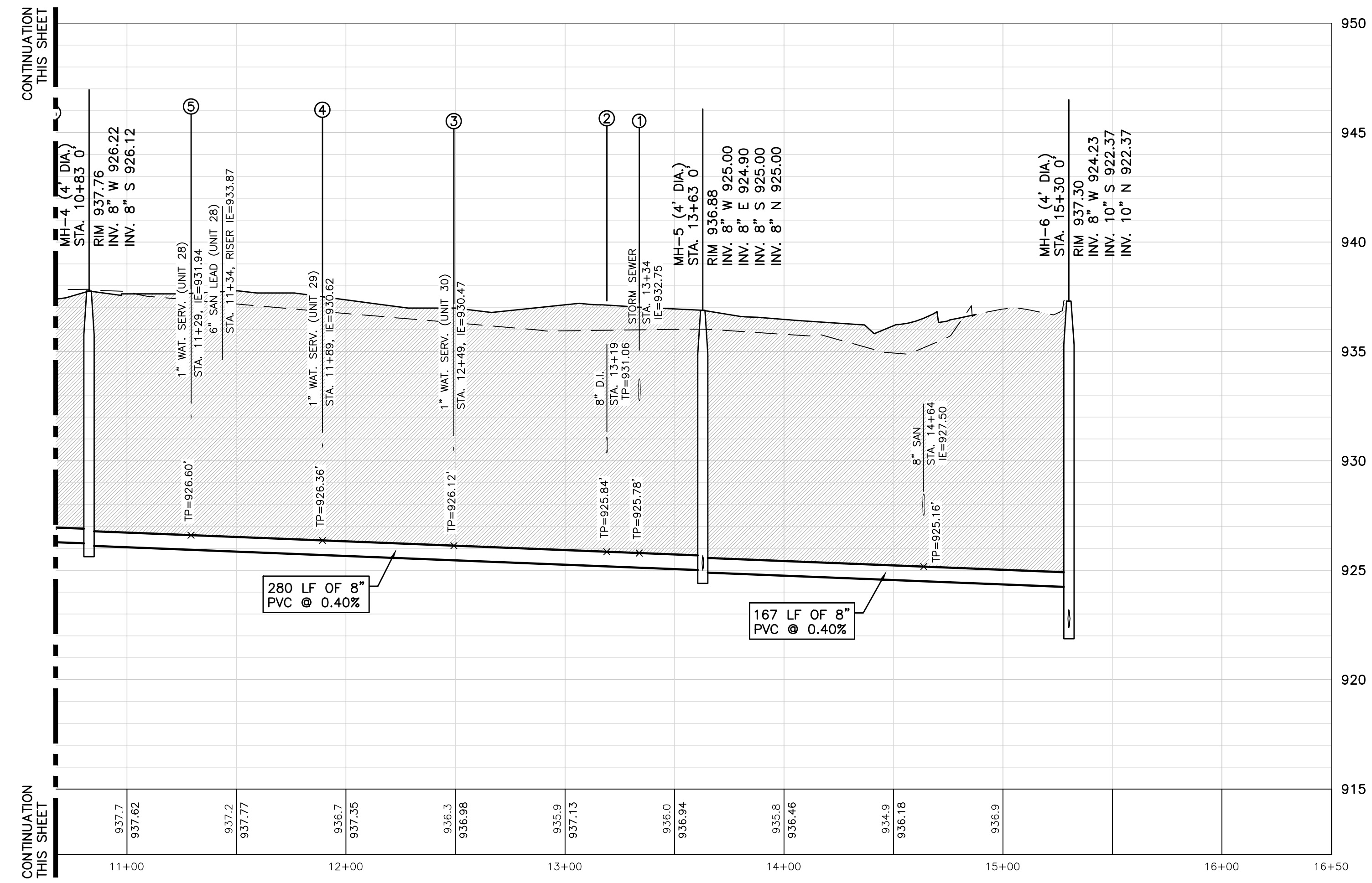
C-3.3

NOT FOR CONSTRUCTION



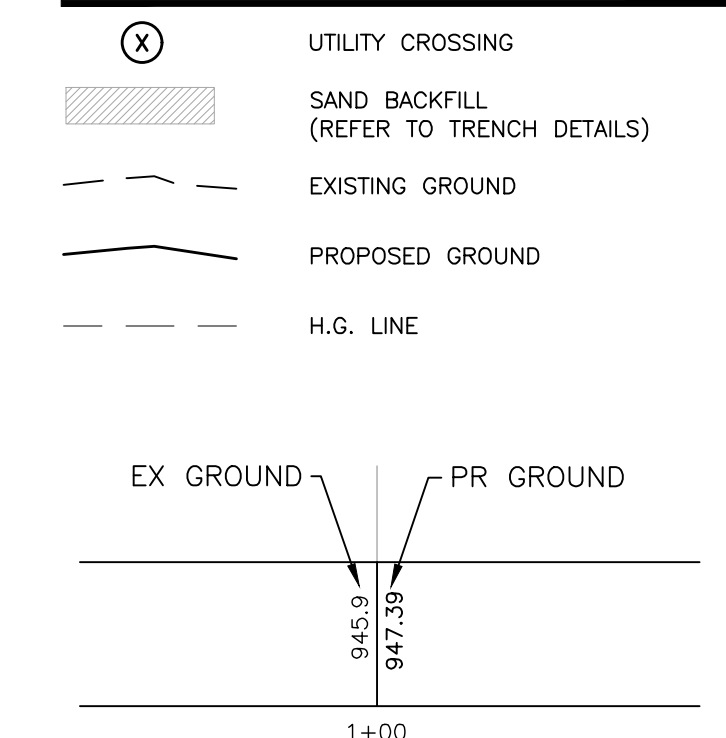
PR SSWR - MH-1 TO MH-6

PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'



PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'

PROFILE LEGEND



NOTES

- SAND BACKFILL AND BEDDING TO BE MDOT CL II.
- MAINTAIN MINIMUM 18" VERTICAL CLEARANCE BETWEEN ALL UTILITIES.

INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS

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ENGINEER
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CLIENT :

CHESTNUT DEVELOPMENT, LLC

3800 CHILSON ROAD
HOWELL, MI 48843

POC: STEVE GRONOW
517-552-2489

SANITARY SEWER PROFILES

CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN

PLAN SUBMITTALS/REVISIONS	DATE
PRELIMINARY/FINAL SITE PLAN SUBMITTAL	5/28/2024
REVISED SITE PLAN SUBMISSION	5/30/2024

ORIGINAL ISSUE DATE:
02/29/2024

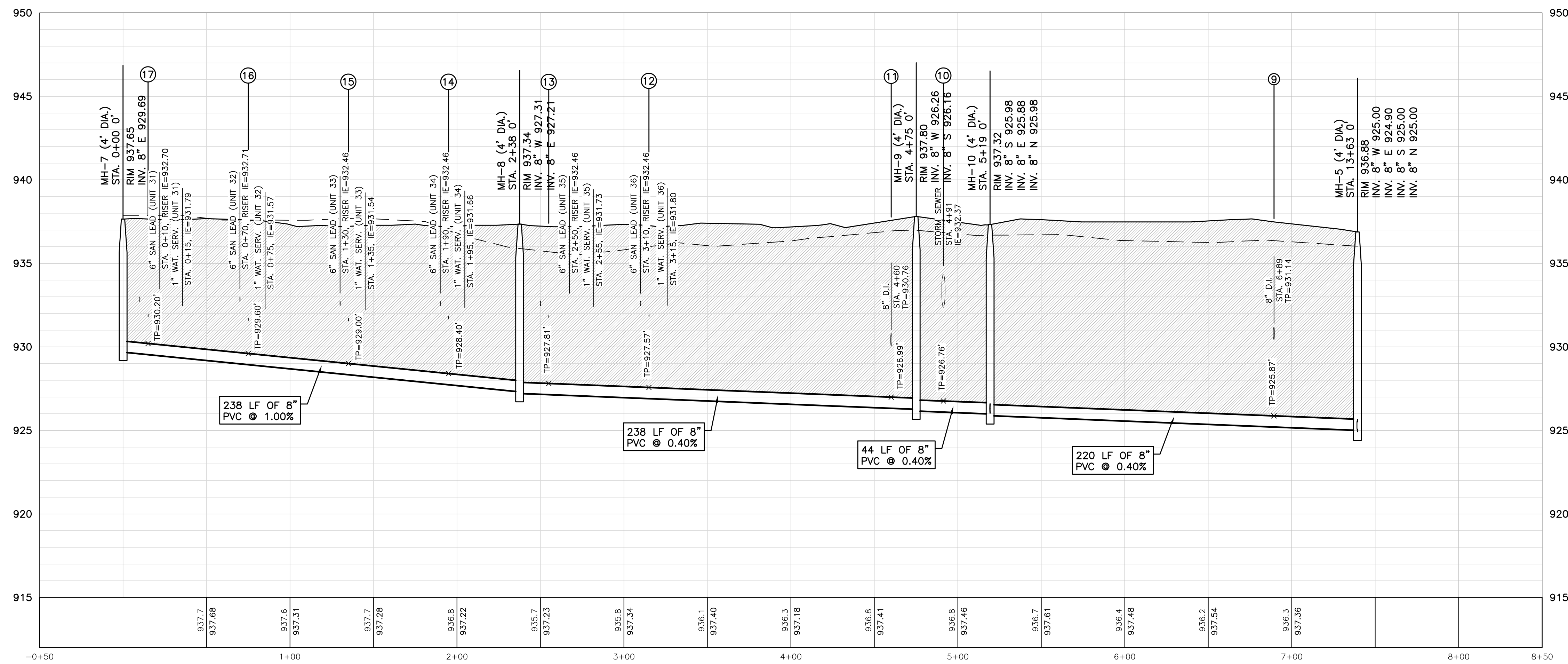
PROJECT NO: 22-286

SCALE: 1" = 40'

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DRAWN BY: CD
DESIGN BY: BS
CHECK BY: AP

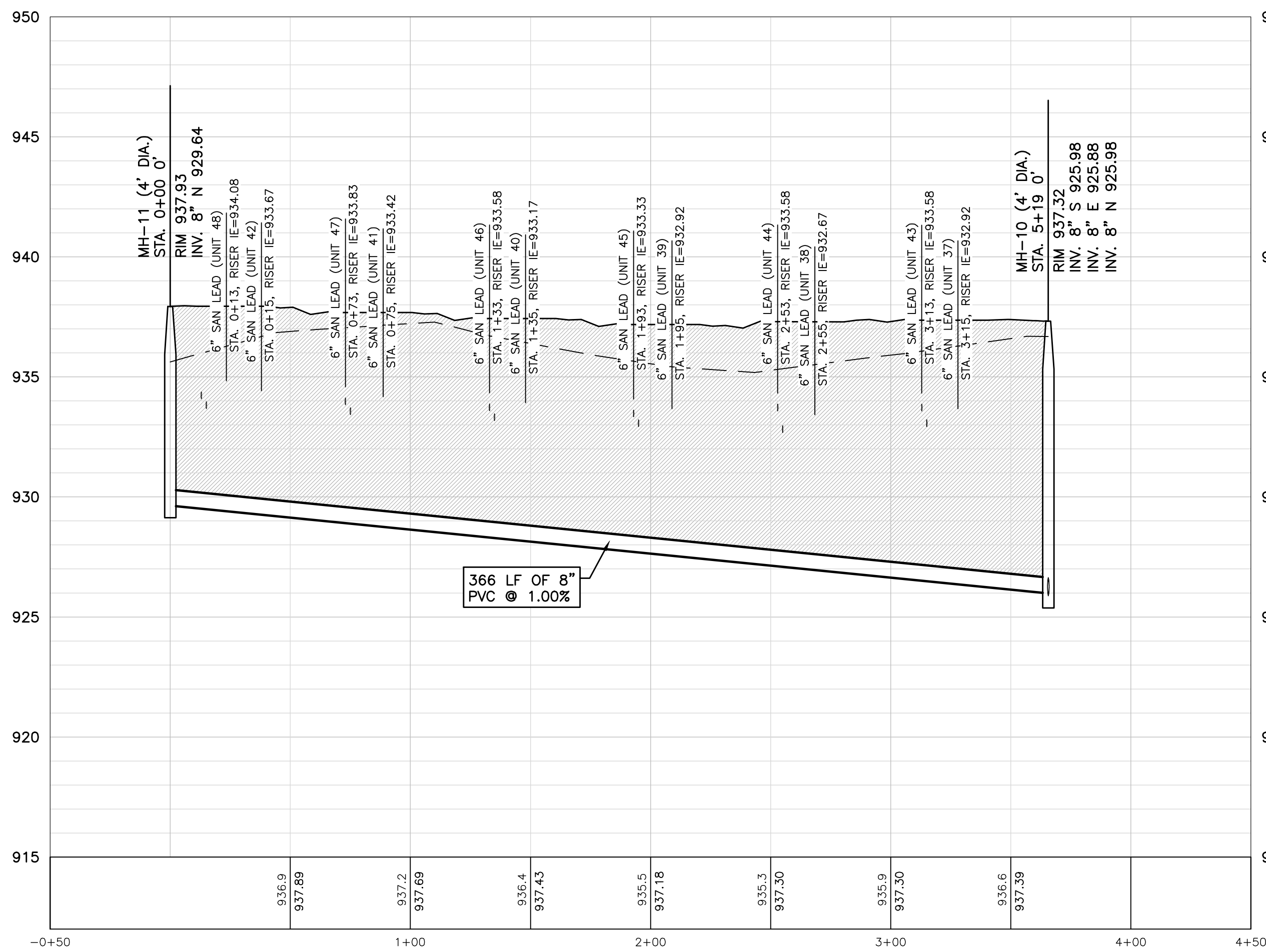
C-3.4

NOT FOR CONSTRUCTION



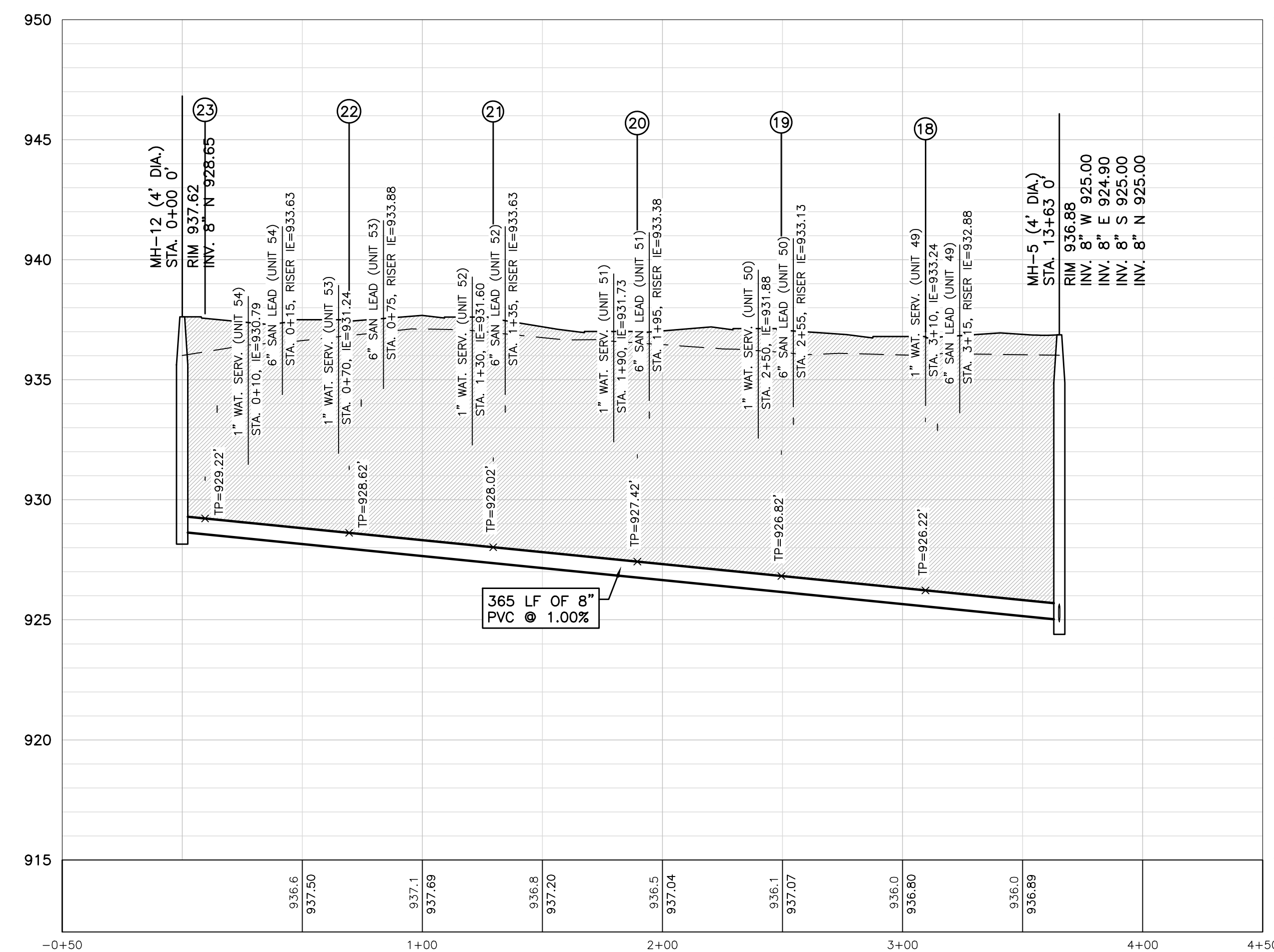
PR SSWR - MH-7 TO MH-5

PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'



PR SSWR - MH-11 TO MH-10

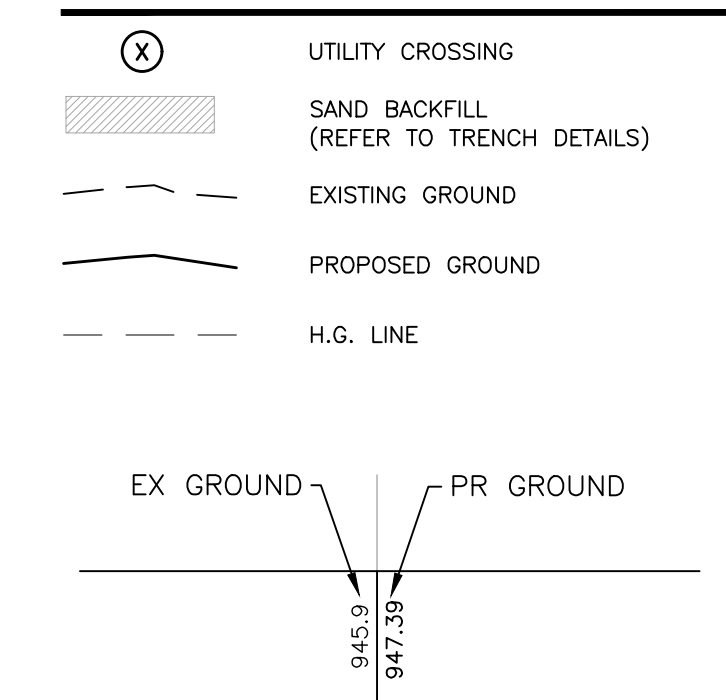
PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'



PR SSWR - MH-12 TO MH-5

PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'

PROFILE LEGEND



NOTES

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- MAINTAIN MINIMUM 18" VERTICAL CLEARANCE BETWEEN ALL UTILITIES.

INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS

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ALLAN W. PRUSS
ENGINEER
NO. 6201043168

Allan W. Pruss

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HOWELL, MI 48843

POC: STEVE GRONOW
517-552-2489

SANITARY SEWER PROFILES

CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
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ORIGINAL ISSUE DATE:
02/29/2024

PROJECT NO: 22-286

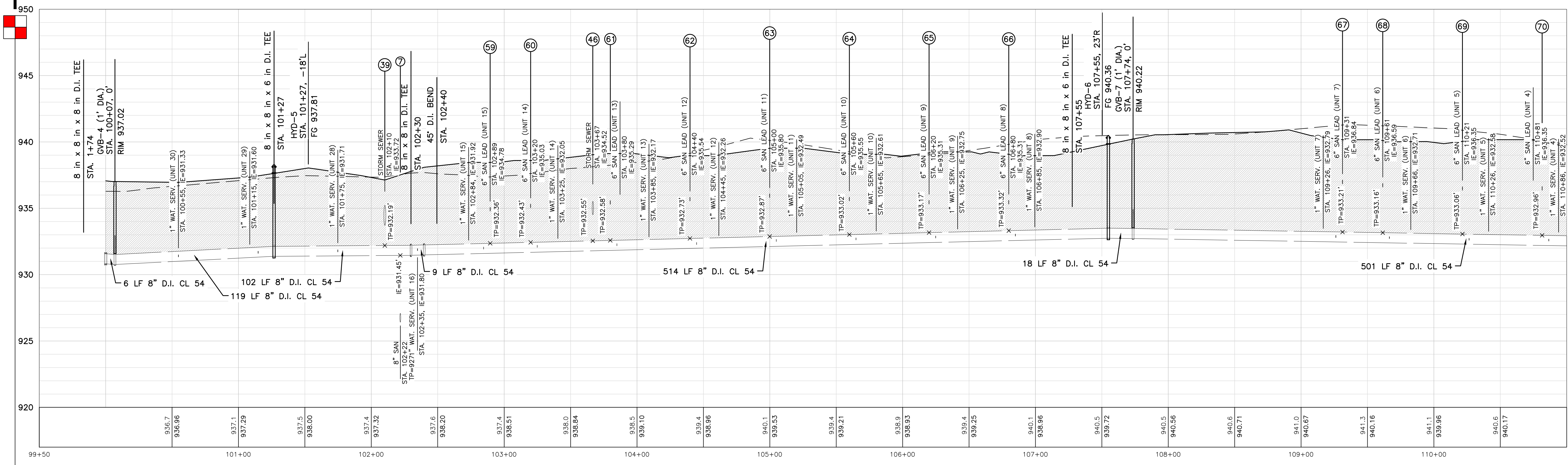
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CHECK BY: AP

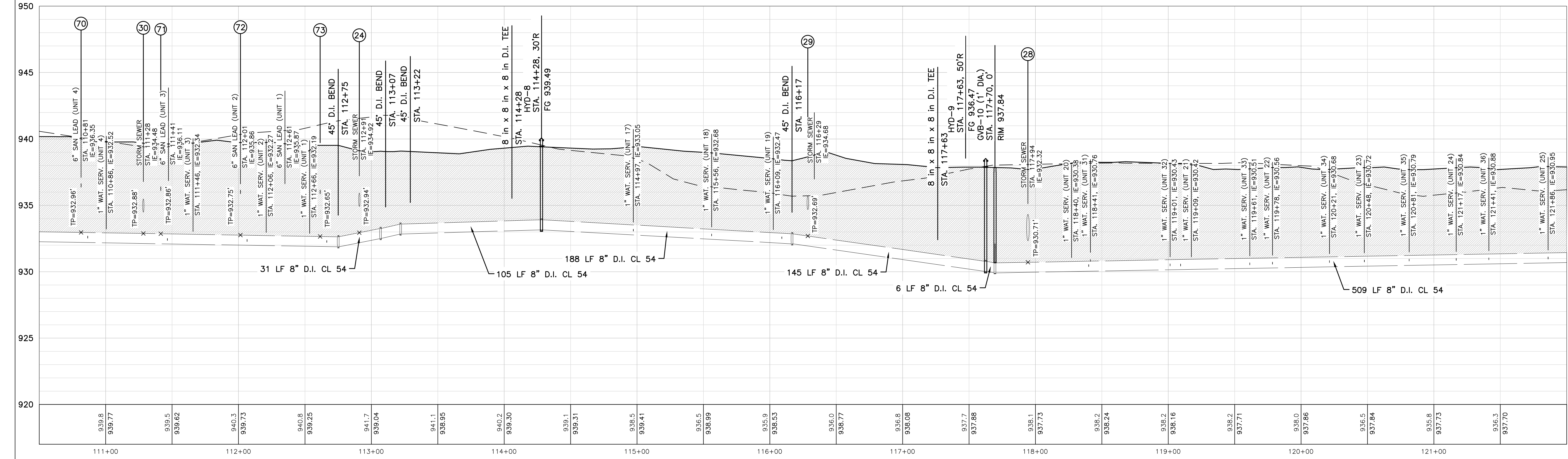
C-3.5

NOT FOR CONSTRUCTION



PR WM - STA 100+00 TO 133+22

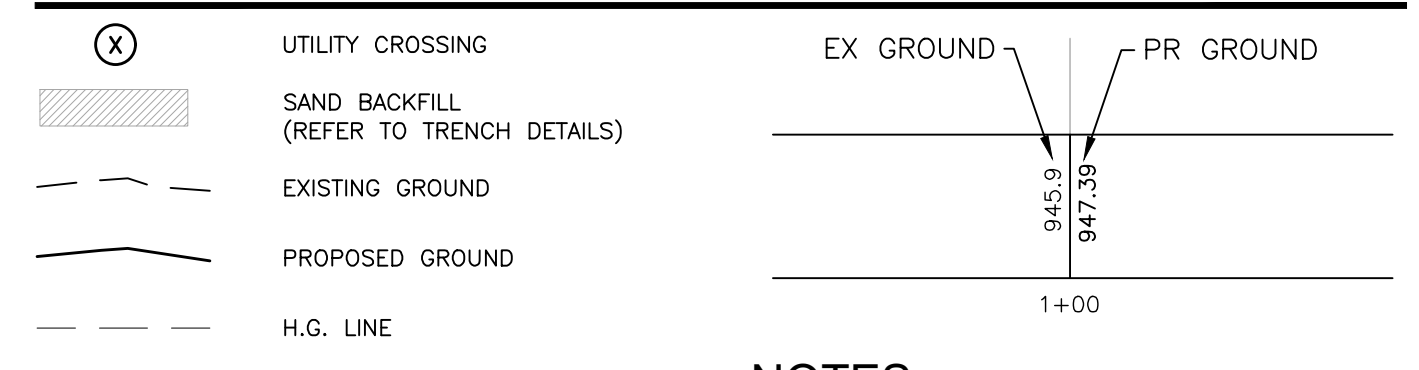
PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'



PR WM - STA 100+00 TO 133+22

PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'

PROFILE LEGEND



NOTES

- SAND BACKFILL AND BEDDING TO BE MDOT CL II.
- MAINTAIN MINIMUM 18" VERTICAL CLEARANCE BETWEEN ALL UTILITIES.

INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS

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ALLAN W. PRUSS
ENGINEER
NO. 6201043168

Allan W. Pruss

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CLIENT :

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3800 CHILSON ROAD
HOWELL, MI 48843

POC: STEVE GRONOW
517-552-2489

WATER MAIN PROFILES

CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN

PLAN SUBMITTALS/REVISIONS	DATE
PRELIMINARY/FINAL SITE PLAN SUBMITTAL	5/28/2024
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ORIGINAL ISSUE DATE:
02/29/2024

PROJECT NO: 22-286

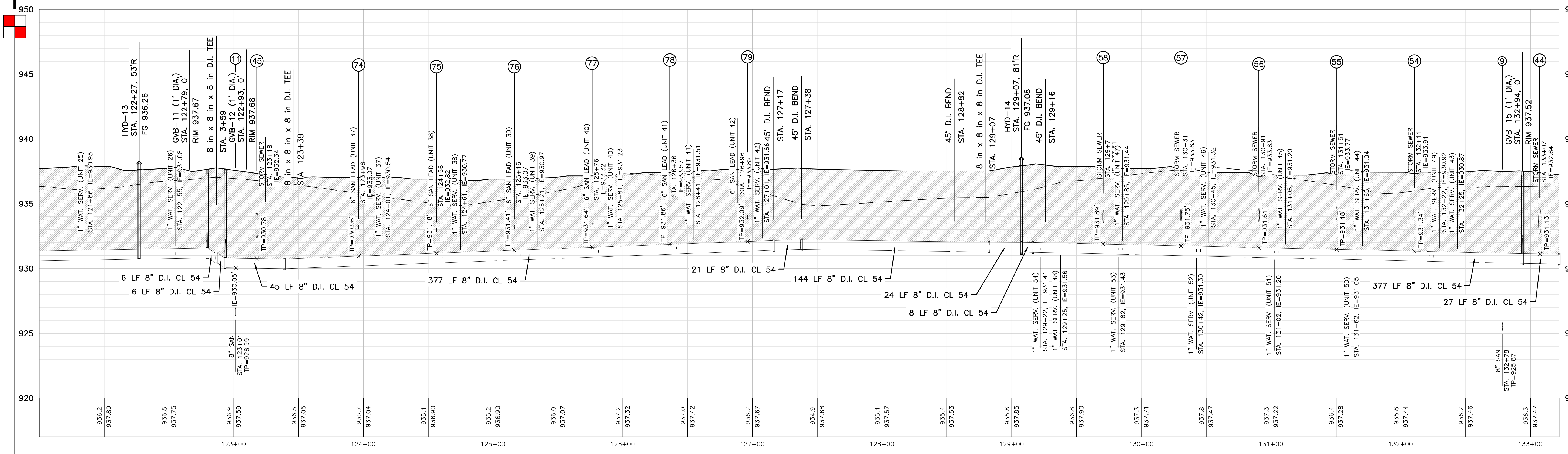
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0 1/2" 1"

FIELD:
DRAWN BY: CD
DESIGN BY: BS
CHECK BY: AP

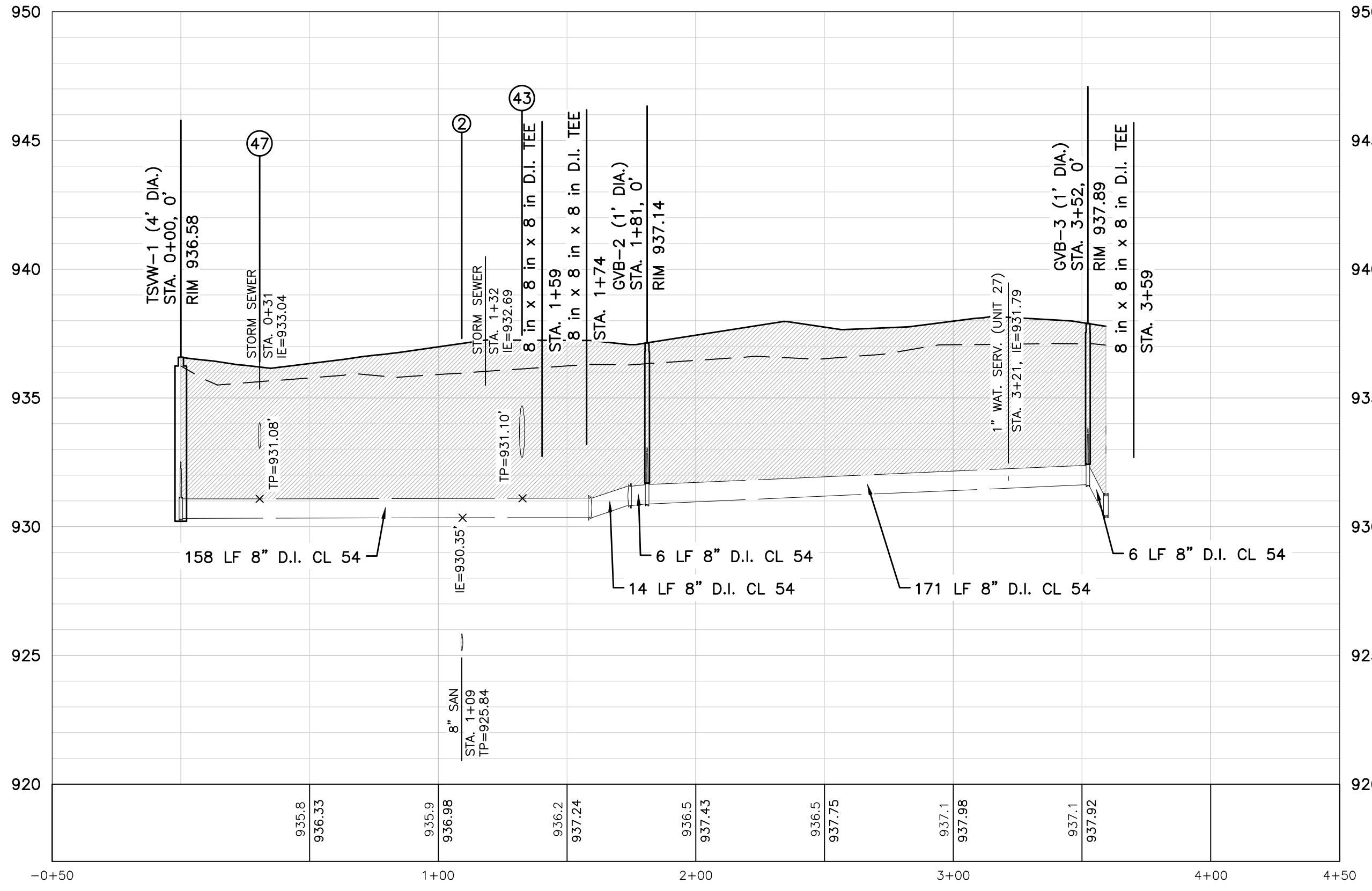
C-3.6

NOT FOR CONSTRUCTION



PR WM - STA 100+00 TO 133+22

PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'

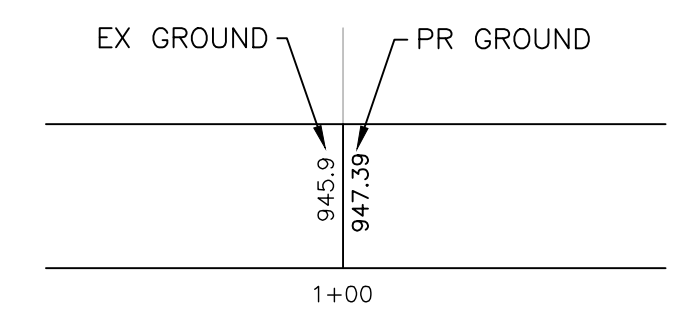


PR WM - STA 0+00 TO 3+59

PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'

PROFILE LEGEND

- UTILITY CROSSING (REFER TO TRENCH DETAILS)
- SAND BACKFILL (REFER TO TRENCH DETAILS)
- EXISTING GROUND
- PROPOSED GROUND
- H.G. LINE



NOTES

1. SAND BACKFILL AND BEDDING TO BE MDOT CL II.
2. MAINTAIN MINIMUM 18" VERTICAL CLEARANCE BETWEEN ALL UTILITIES.

INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS

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Engineering Group Associates, Inc.

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MONUMENTENGINEERING.COM

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ALLAN W. PRUSS
ENGINEER
NO. 6201043168

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POC: STEVE GRONOW
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WATER MAIN PROFILES

CHESTNUT SELF STORAGE
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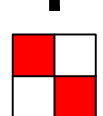
PROJECT NO: 22-286

SCALE: 1" = 40'
0 1/2" 1"

FIELD:
DRAWN BY: CD
DESIGN BY: BS
CHECK BY: AP

C-3.7

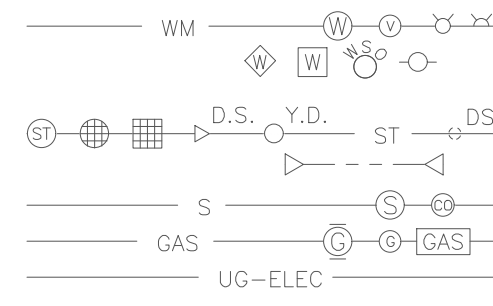
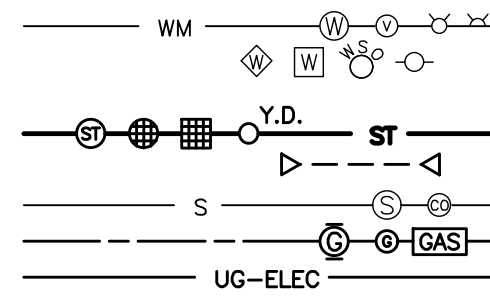
NOT FOR CONSTRUCTION



UTILITY LEGEND

PROPOSED

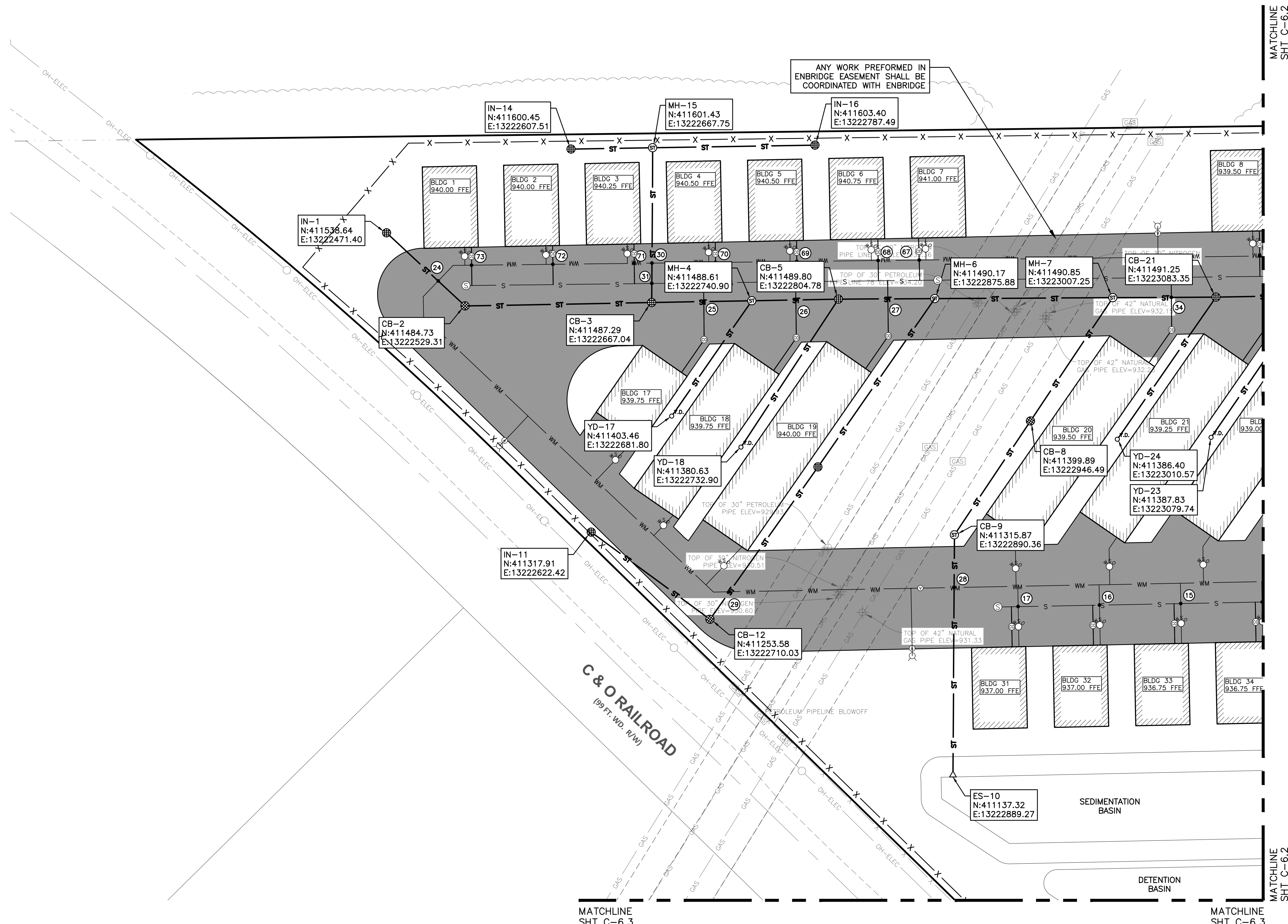
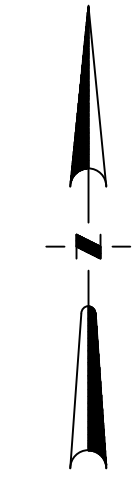
EXISTING



WATER MAIN, MH, VALVE IN BOX, HYDRANT
WATER WELL, METER, STOP BOX, POST INDICATOR VALVE

STORM SEWER, MH, CB, INLET, DOWN SPOUT, YARD DRAIN
CULVERT/ END SECTION

SANITARY SEWER, MH, CLEAN OUT
UG GAS, MH, VALVE, LINE MARKER
UG ELEC (ELEC, CABLE, FIBER)



ANY WORK PERFORMED IN ENBRIDGE EASEMENT SHALL BE COORDINATED WITH ENBRIDGE

MATCHLINE
SHT C-6.2

MATCHLINE
SHT C-6.3

MATCHLINE
SHT C-6.3

STORM SEWER NOTES

- "IN" & "CB" STRUCTURES SHALL HAVE EJIW 1020 FRAME WITH TYPE M1 GRATE.
- CURB "IN" & "CB" STRUCTURES SHALL HAVE EJIW 7010 FRAME WITH TYPE M1 GRATE.
- STORM "MH" STRUCTURES SHALL HAVE EJIW 1040 FRAME WITH TYPE A PERFORATED COVER.
- END SECTIONS 18" AND LARGER SHALL HAVE ANIMAL GRATES.

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ALLAN W. PRUSS
ENGINEER
NO. 6201043168

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CLIENT :

CHESTNUT DEVELOPMENT, LLC
3800 CHILSON ROAD
HOWELL, MI 48843

POC: STEVE GRONOW
517-552-2489

STORM SEWER QUANTITIES

QTY	UNIT	ITEM
3,509	LF	12" HDPE
535	LF	15" HDPE
862	LF	18" HDPE
1,035	LF	24" HDPE
138	LF	36" HDPE
14	EA	YARD DRAIN
8	EA	2" INLET
35	EA	4" MANHOLE
1	EA	12" FLARED END SECTION
1	EA	18" FLARED END SECTION
2	EA	24" FLARED END SECTION
1	EA	36" FLARED END SECTION

NOTE
SEE PROFILES ON SHEETS C-6.4 TO C-6.8 FOR QUANTITY DETAILS

STORM SEWER PLAN - WEST

CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN

DATE	DESCRIPTION
5/28/2024	PRELIMINARY/FINAL SITE PLAN SUBMITTAL
5/30/2024	REVISED SITE PLAN SUBMISSION

ORIGINAL ISSUE DATE:
02/29/2024

PROJECT NO: 22-286

SCALE: 1" = 40'

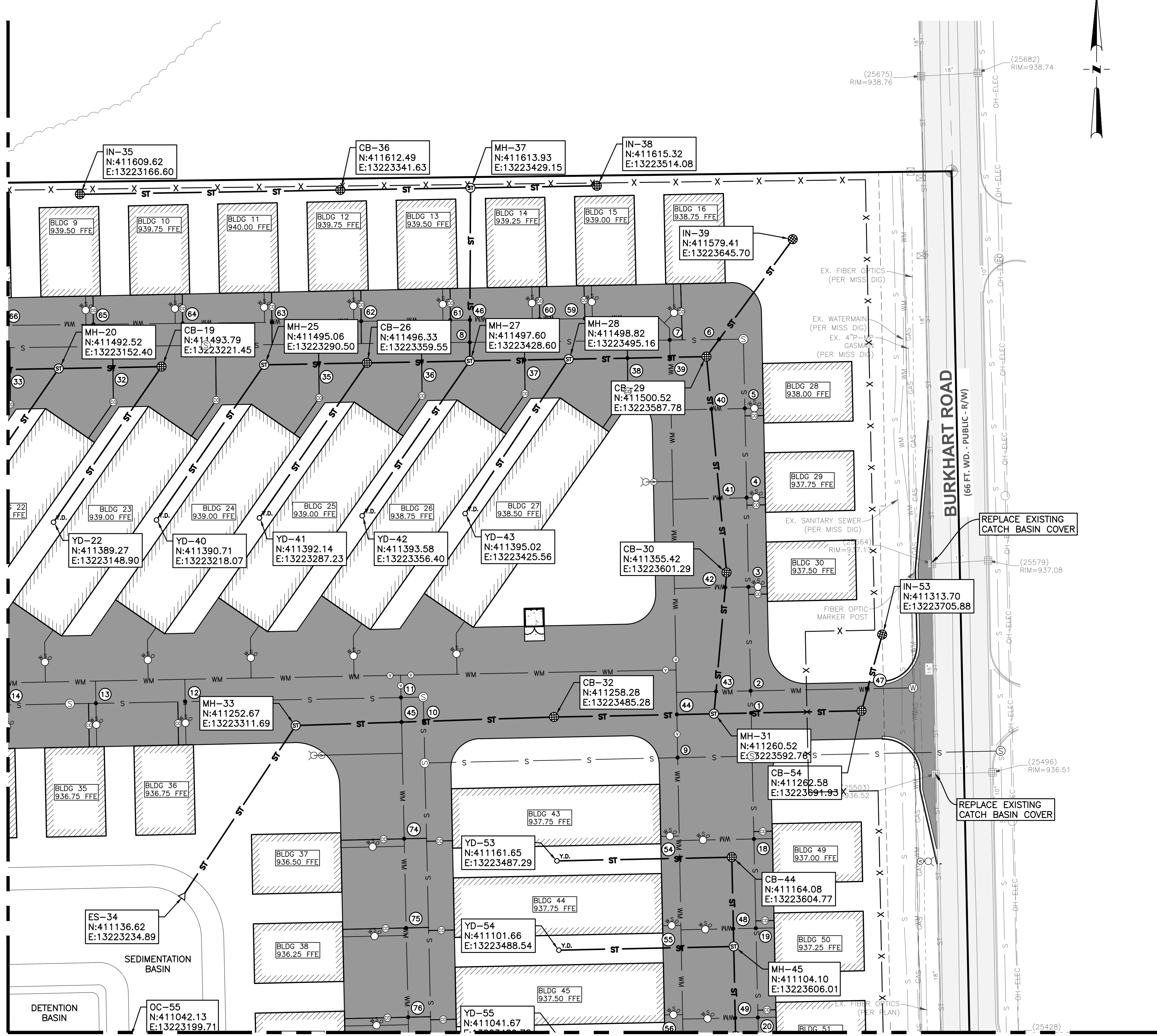
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DRAWN BY: CD
DESIGN BY: BS
CHECK BY: AP

C-6.1

NOT FOR CONSTRUCTION

MATCHLINE
SHT C-6.1

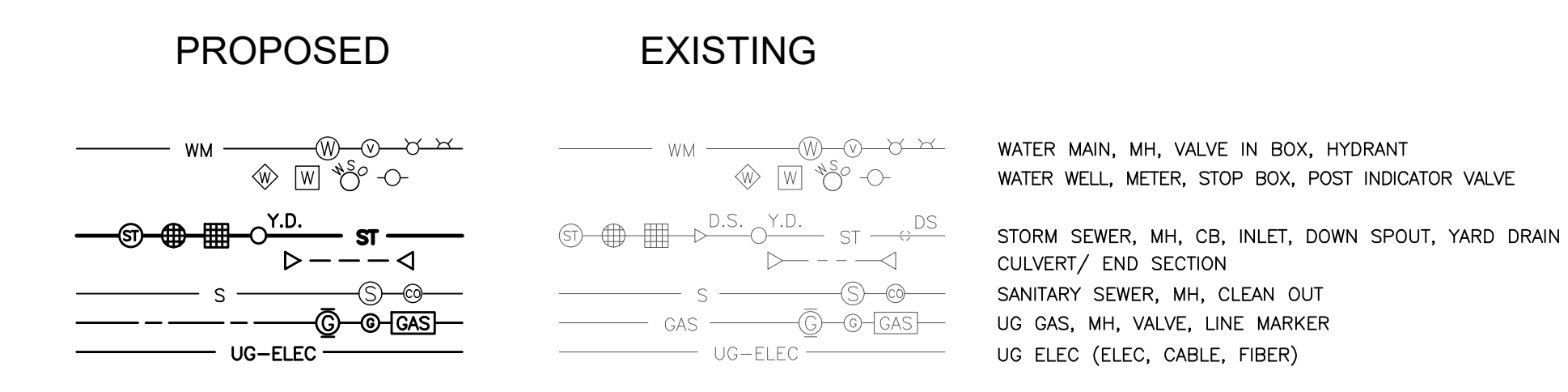
MATCHLINE
SHT C-6.1



MATCHLINE
SHT C-6.3

MATCHLINE
SHT C-6.3

UTILITY LEGEND



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CLIENT :
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3800 CHILSON ROAD
HOWELL, MI 48843
POC: STEVE GRONOW
517-552-2489

STORM SEWER PLAN - EAST
CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN

PLAN SUBMITTALS/REVISIONS	DATE
PRELIMINARY/FINAL SITE PLAN SUBMITTAL	5/28/2024
REVISED SITE PLAN SUBMISSION	5/30/2024

ORIGINAL ISSUE DATE: 02/29/2024

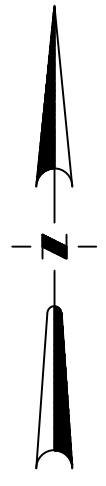
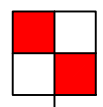
PROJECT NO: 22-286

SCALE: 1" = 40'
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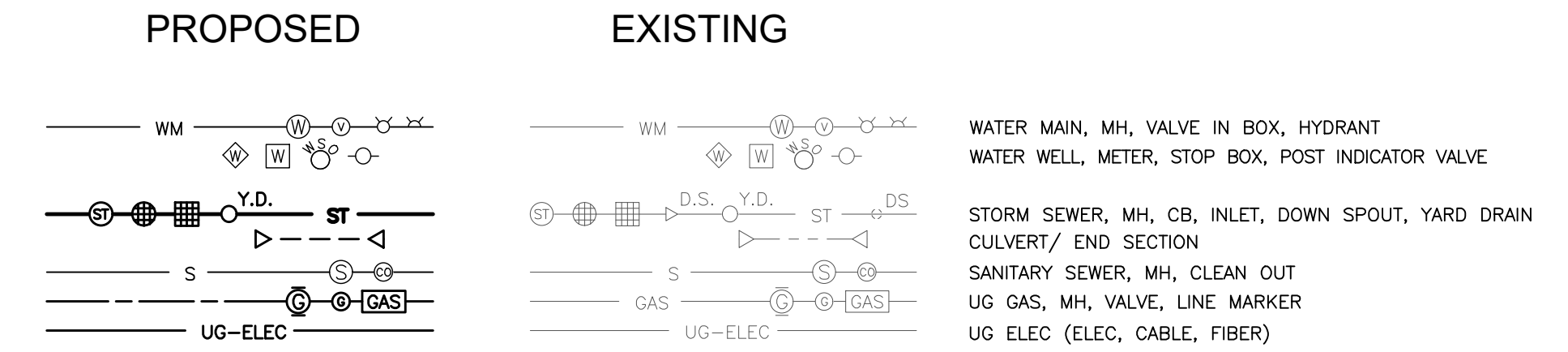
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DESIGN BY: BS
CHECK BY: AP

C-6.2

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UTILITY LEGEND



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3800 CHILSON ROAD
HOWELL, MI 48843

POC: STEVE GRONOW
517-552-2489

STORM SEWER PLAN - SOUTH

CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
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REVISED SITE PLAN SUBMISSION	5/30/2024

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02/29/2024

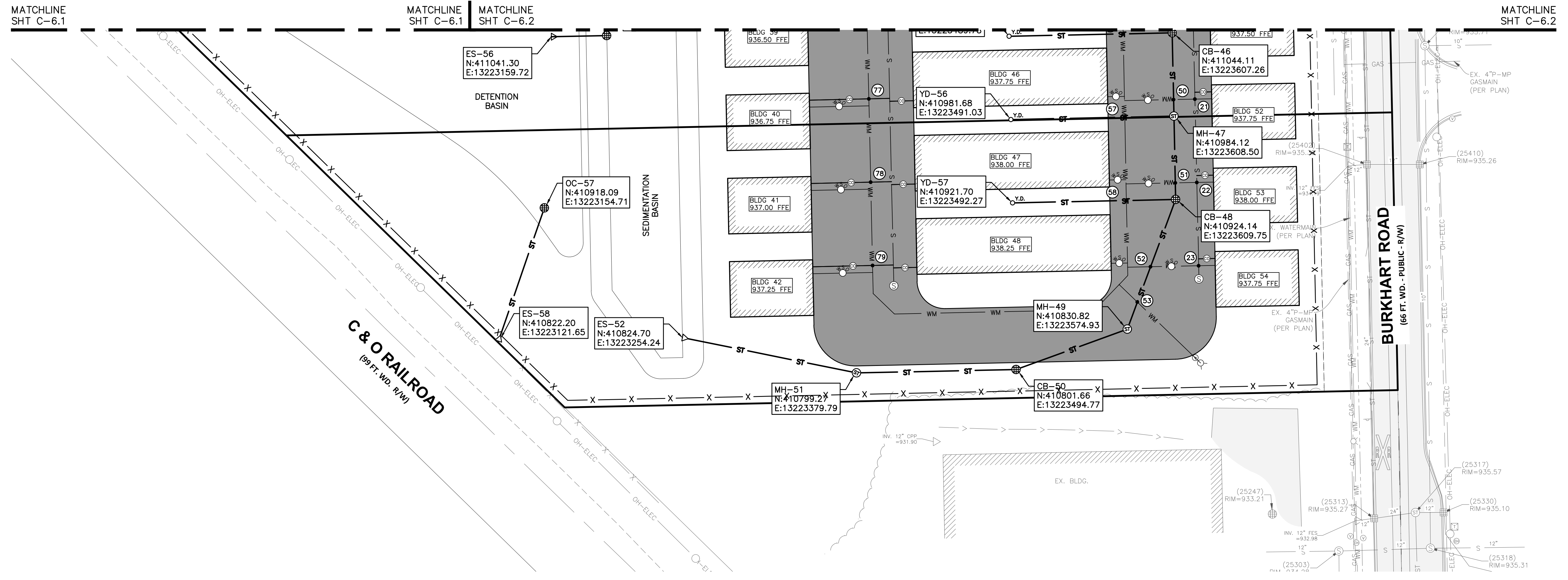
PROJECT NO: 22-286

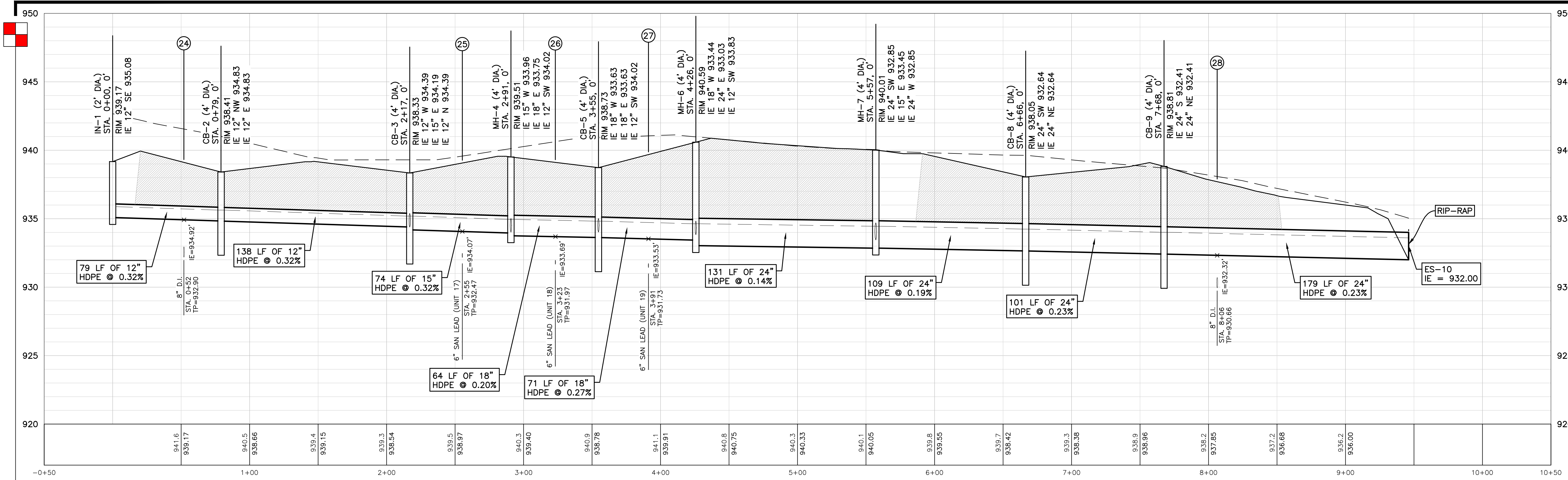
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DESIGN BY: BS
CHECK BY: AP

C-6.3

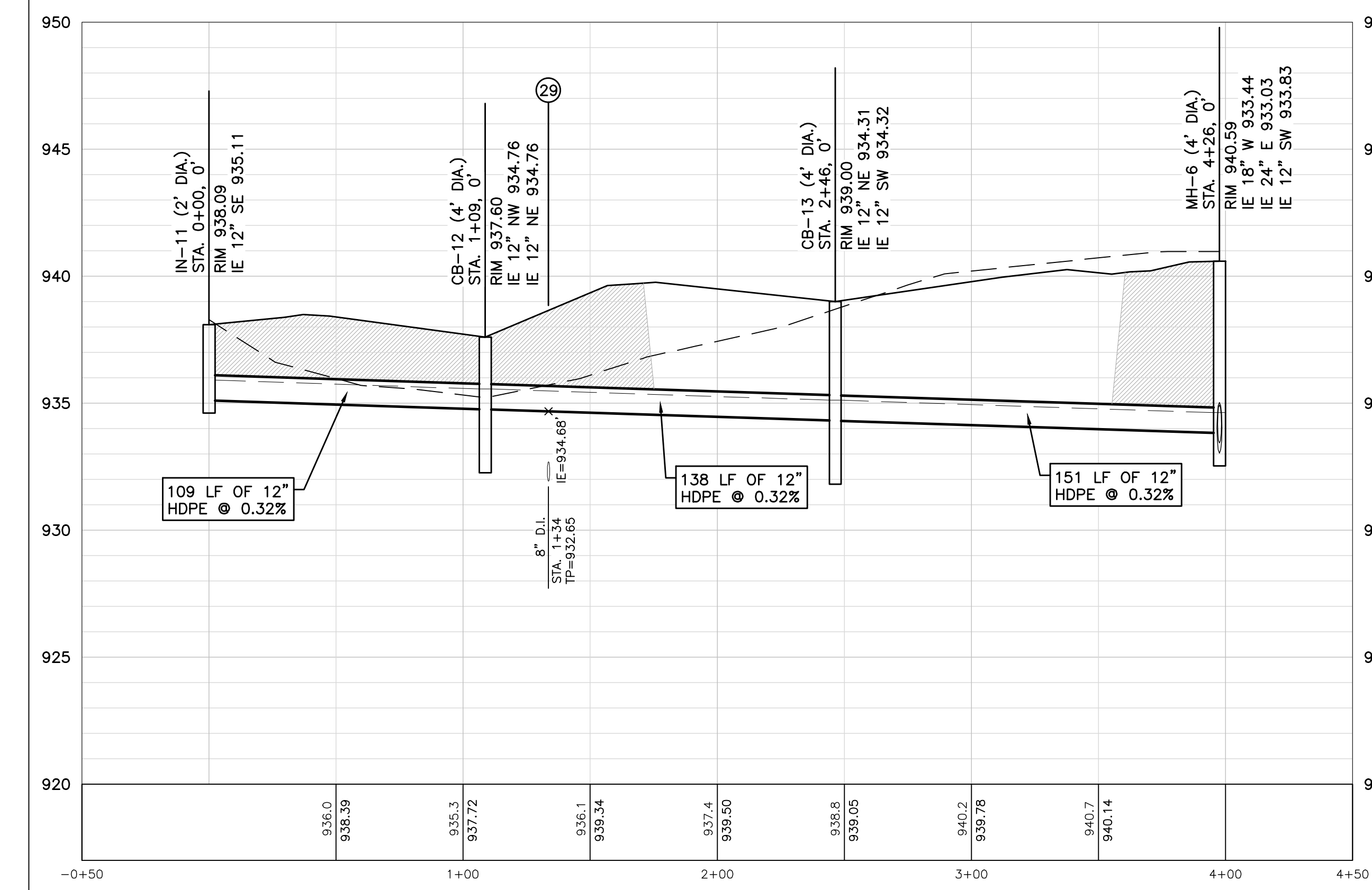
NOT FOR CONSTRUCTION





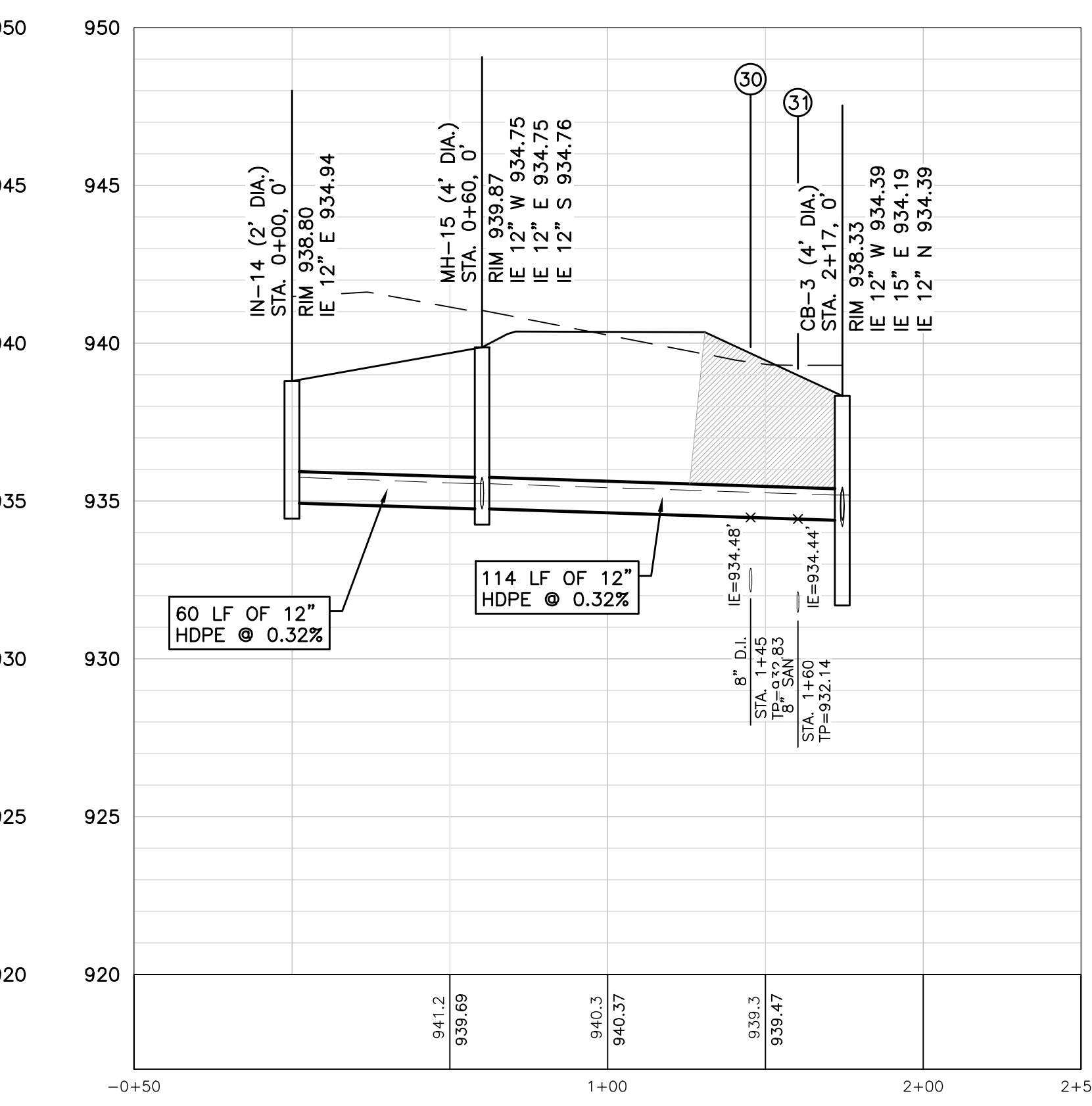
PR STRM - IN-1 TO ES-10

PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'



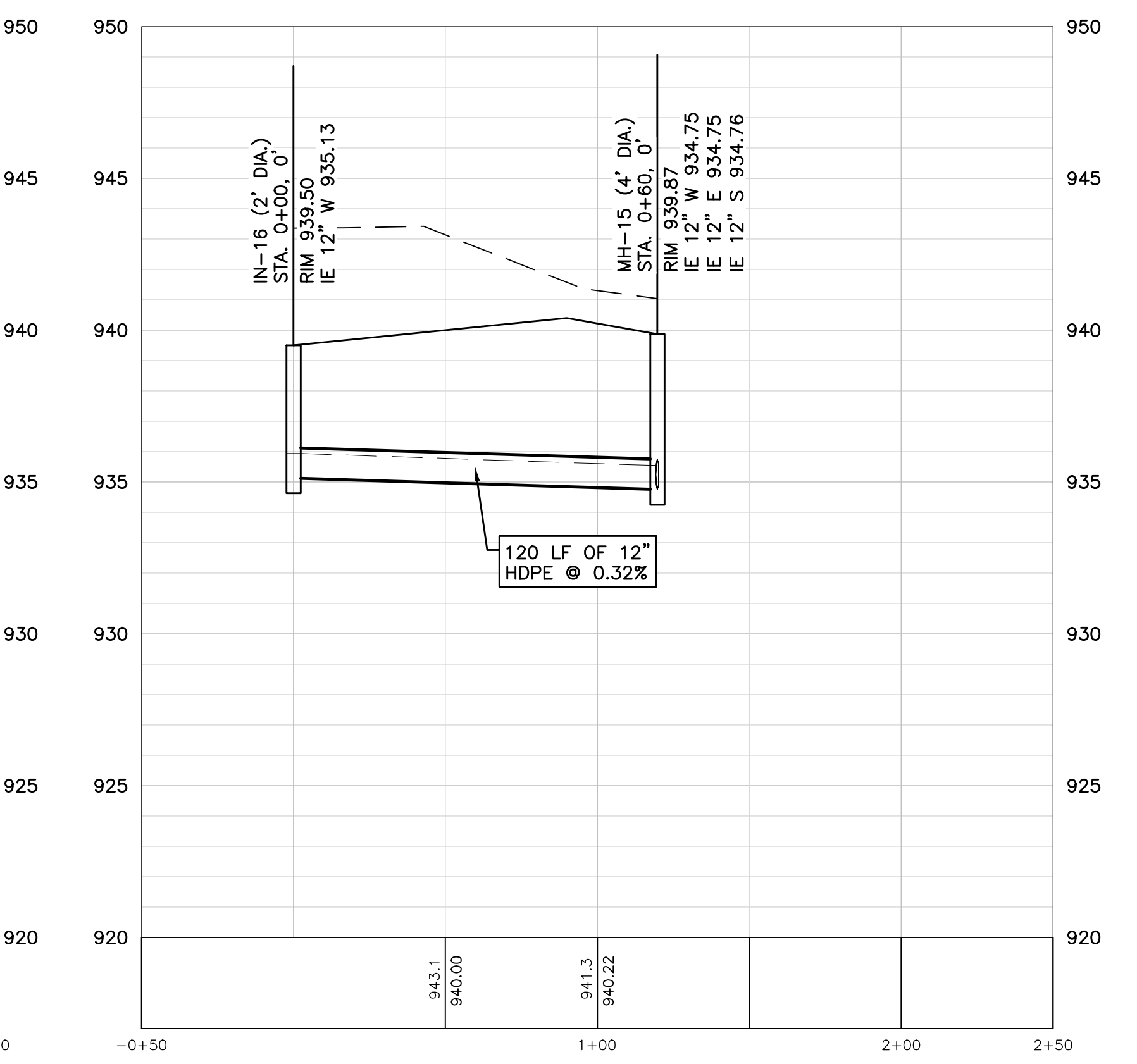
PR STRM - IN-11 TO MH-6

PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'



PR STRM - IN-14 TO CB-3

PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'



PR STRM - IN-16 TO MH-15

PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'

PROFILE LEGEND

- (X) UTILITY CROSSING
- [Hatched Area] SAND BACKFILL (REFER TO TRENCH DETAILS)
- - - EXISTING GROUND
- PROPOSED GROUND
- - - H.G. LINE

EX GROUND
PR GROUND

1+00
945.9
947.39

- NOTES**
- SAND BACKFILL AND BEDDING TO BE MDOT CL.II.
 - MAINTAIN MINIMUM 18" VERTICAL CLEARANCE BETWEEN ALL UTILITIES.

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HOWELL, MI 48843

POC: STEVE GRONOW
517-552-2489

STORM SEWER PROFILES

CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
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REVISED SITE PLAN SUBMISSION	5/30/2024

ORIGINAL ISSUE DATE:
02/29/2024

PROJECT NO: 22-286

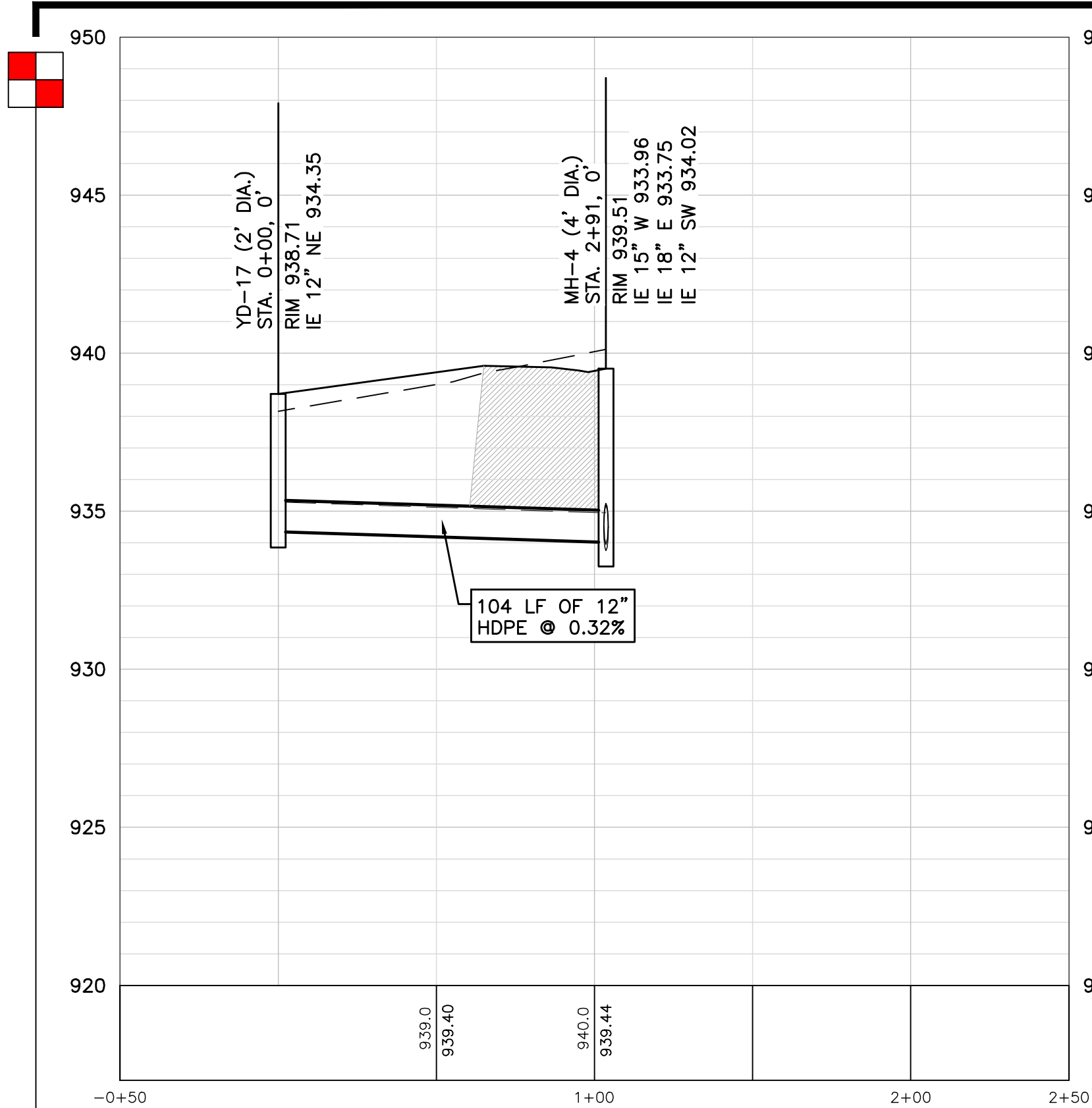
SCALE: 1" = 40'

0 1/2" 1"

FIELD:
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DESIGN BY: BS
CHECK BY: AP

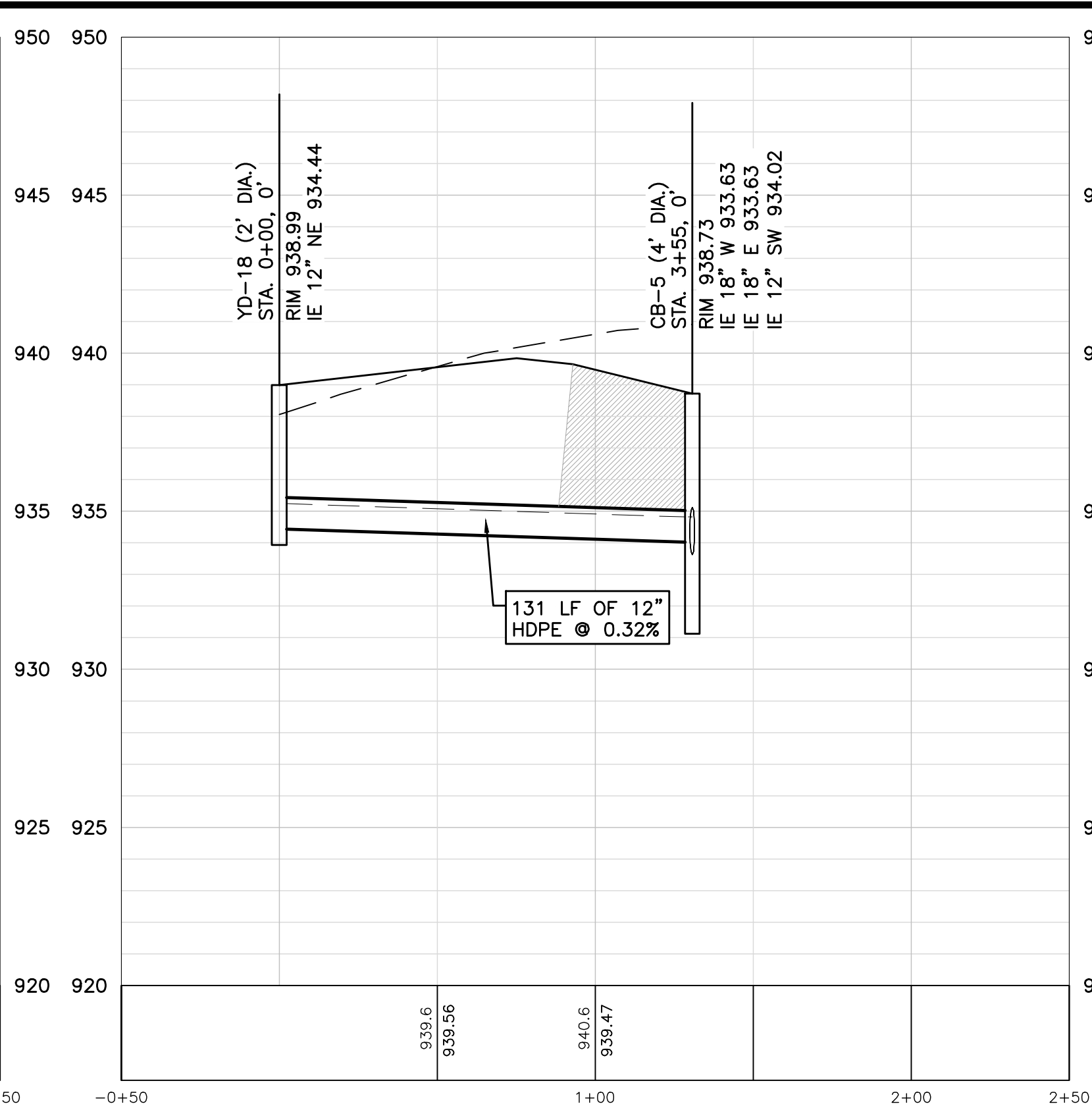
C-6.4

NOT FOR CONSTRUCTION



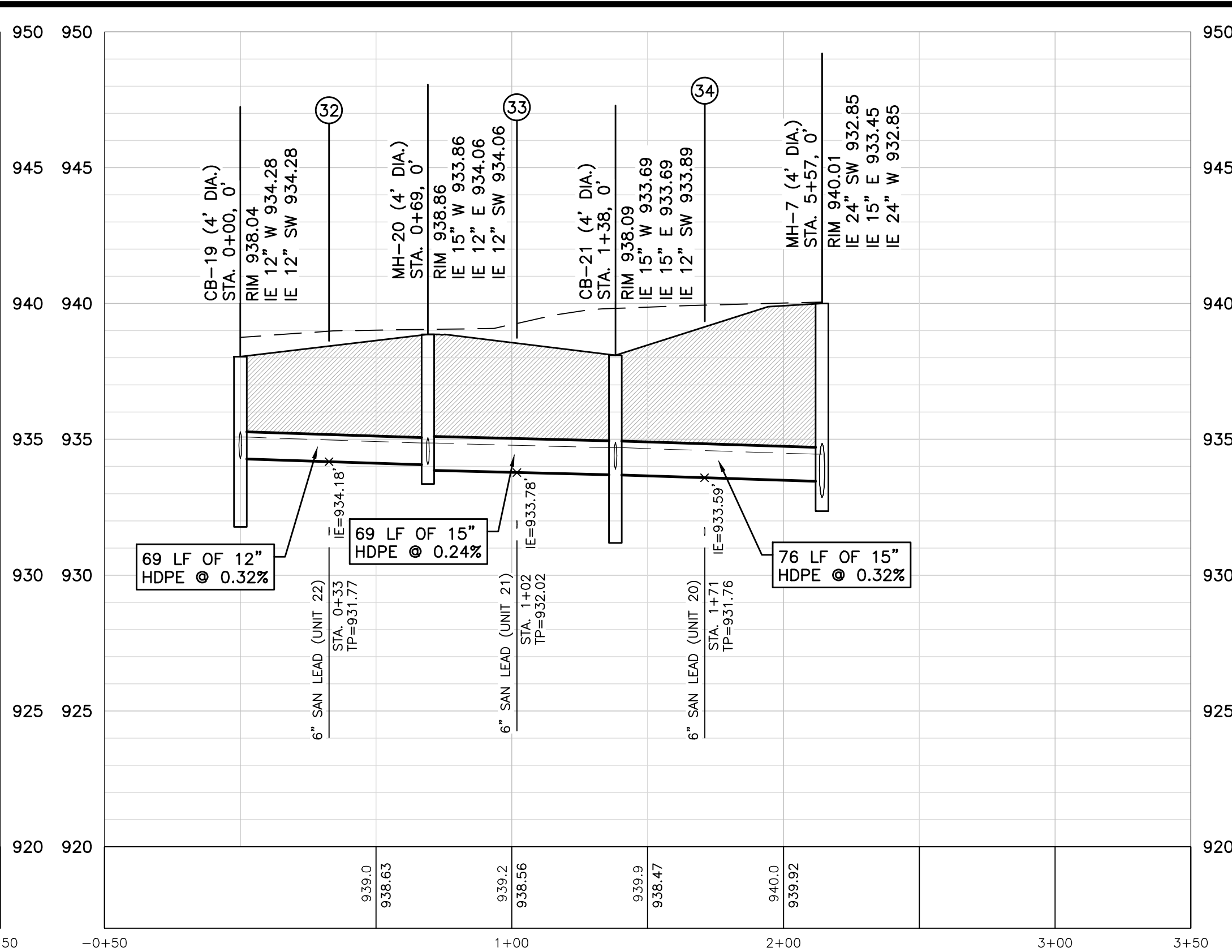
PR STRM - YD-17 TO MH-4

PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'



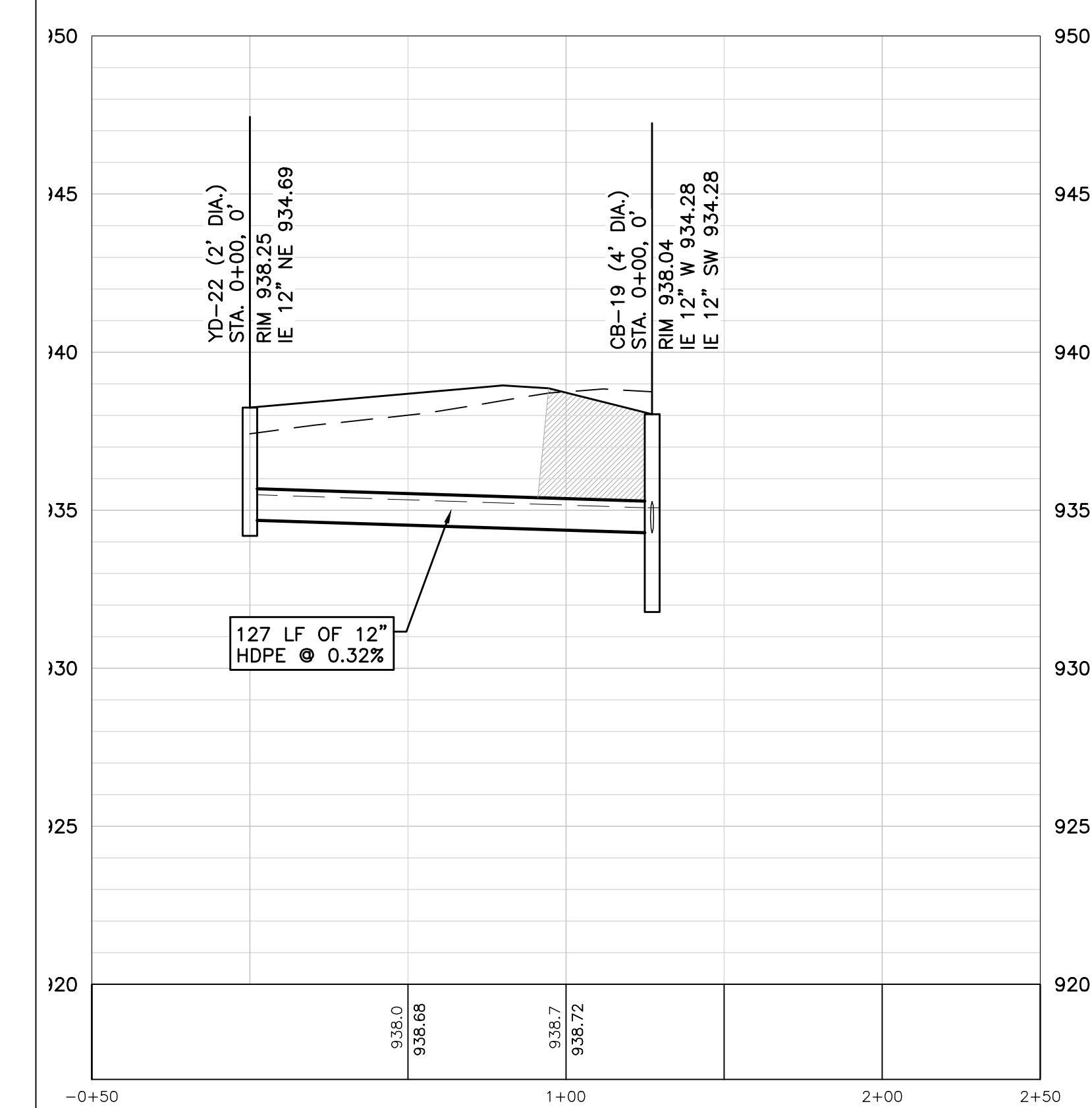
PR STRM - YD-18 TO CB-5

PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'



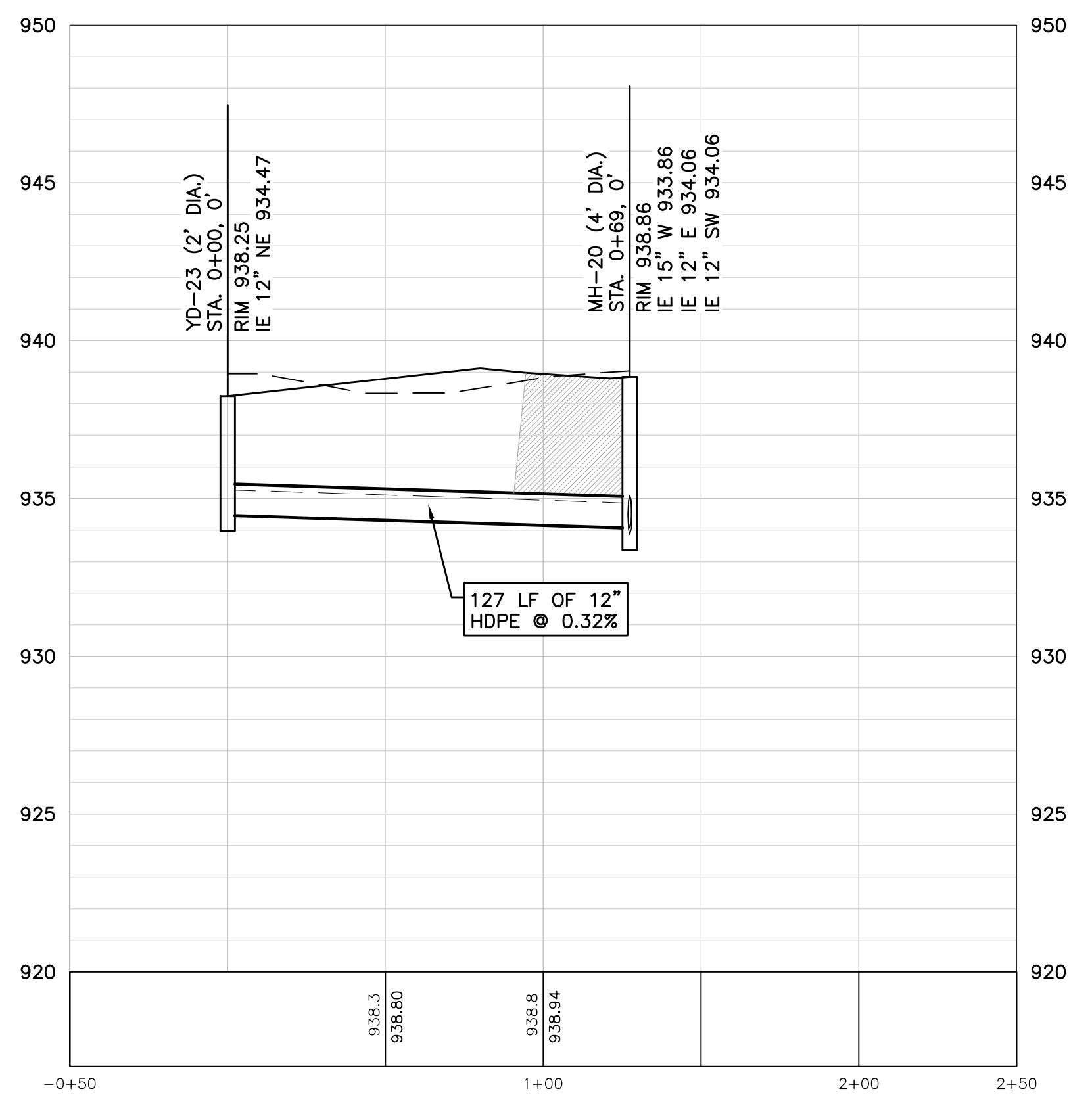
PR STRM - CB-19 TO MH-7

PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'



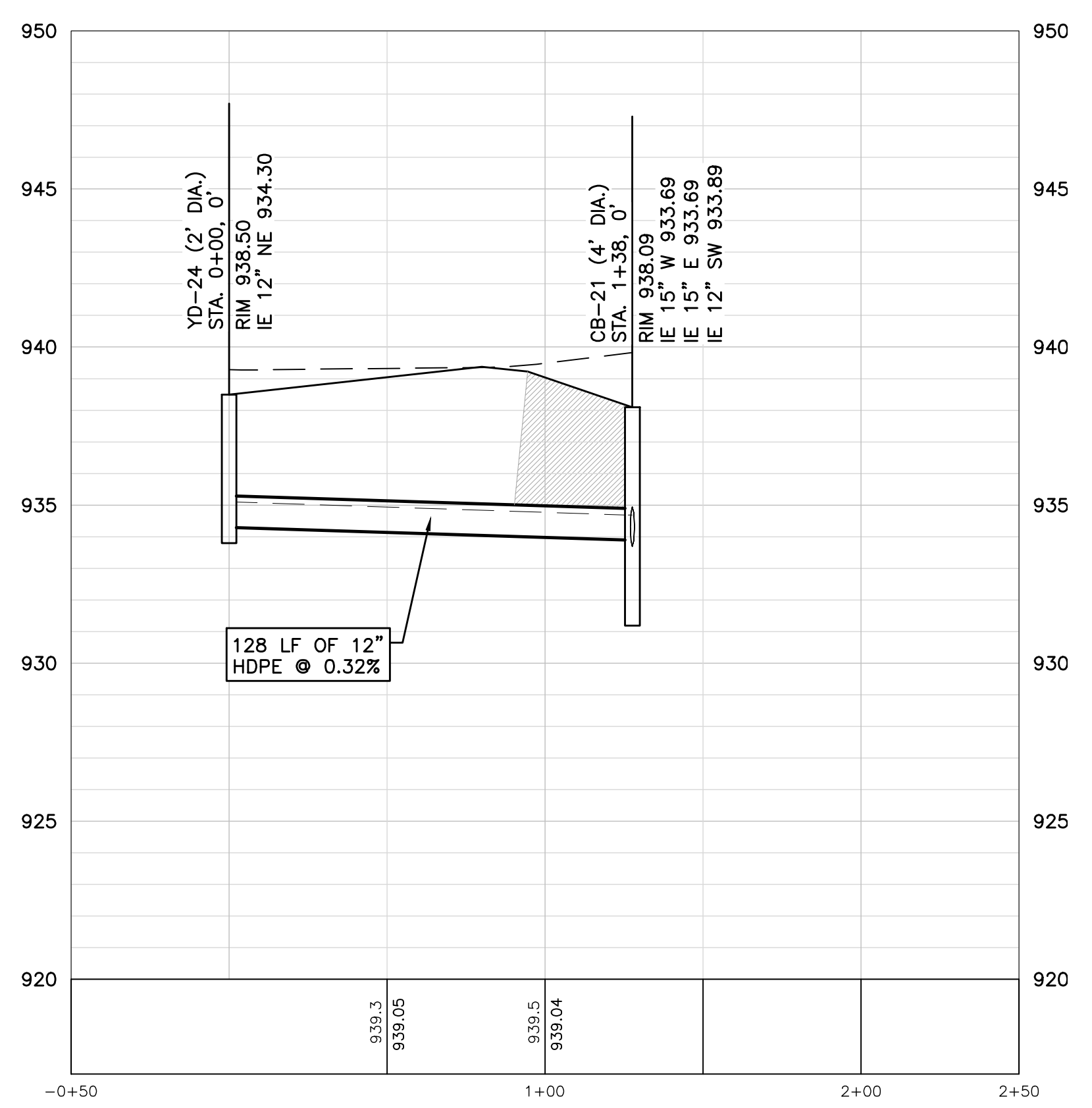
PR STRM - YD-22 TO CB-19

PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'



PR STRM - YD-23 TO MH-20

PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'

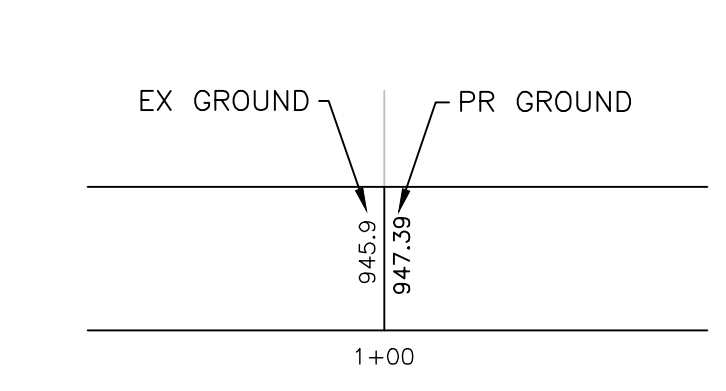


PR STRM - YD-24 TO CB-21

PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'

PROFILE LEGEND

- (X) UTILITY CROSSING
- [Hatched Area] SAND BACKFILL (REFER TO TRENCH DETAILS)
- - - EXISTING GROUND
- PROPOSED GROUND
- - - H.G. LINE



NOTES

1. SAND BACKFILL AND BEDDING TO BE MDOT CL.II.
2. MAINTAIN MINIMUM 18" VERTICAL CLEARANCE BETWEEN ALL UTILITIES.

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ALLAN W. PRUSS
ENGINEER
NO. 6201043168

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www.missdig.org

CLIENT :

CHESTNUT DEVELOPMENT, LLC
3800 CHILSON ROAD
HOWELL, MI 48843

POC: STEVE GRONOW
517-552-2489

STORM SEWER PROFILES

CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN

PLAN SUBMITTALS/REVISIONS	DATE
PRELIMINARY/FINAL SITE PLAN SUBMITTAL	5/28/2024
REVISED SITE PLAN SUBMISSION	5/30/2024

ORIGINAL ISSUE DATE:
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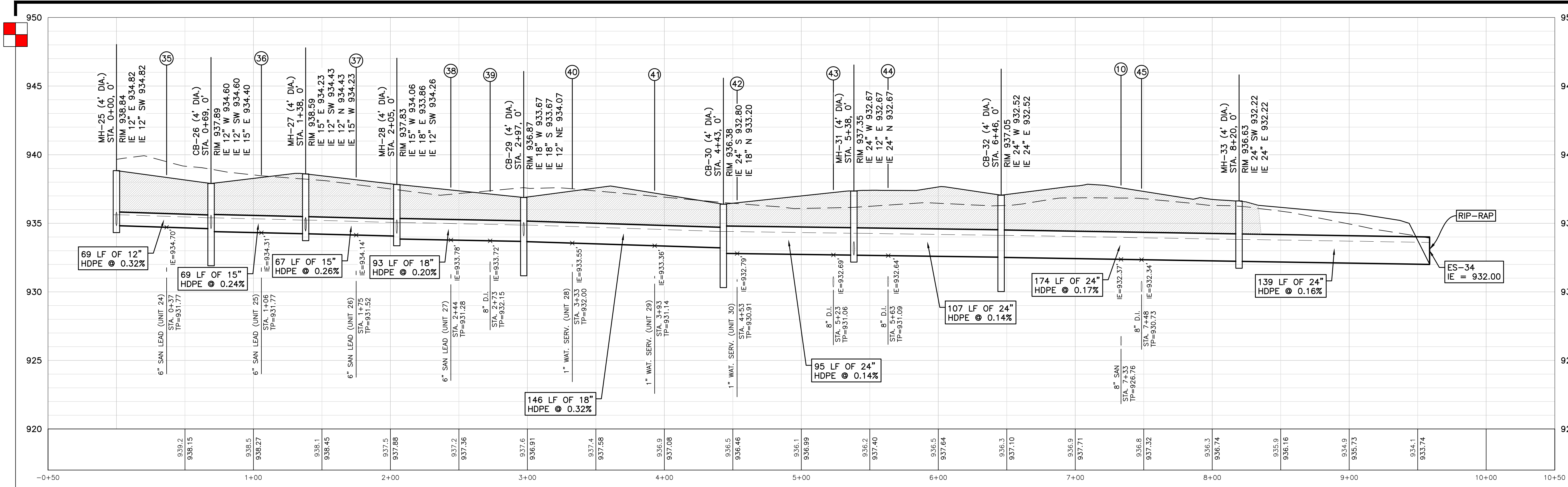
PROJECT NO: 22-286

SCALE: 1" = 40'

FIELD:
DRAWN BY: CD
DESIGN BY: BS
CHECK BY: AP

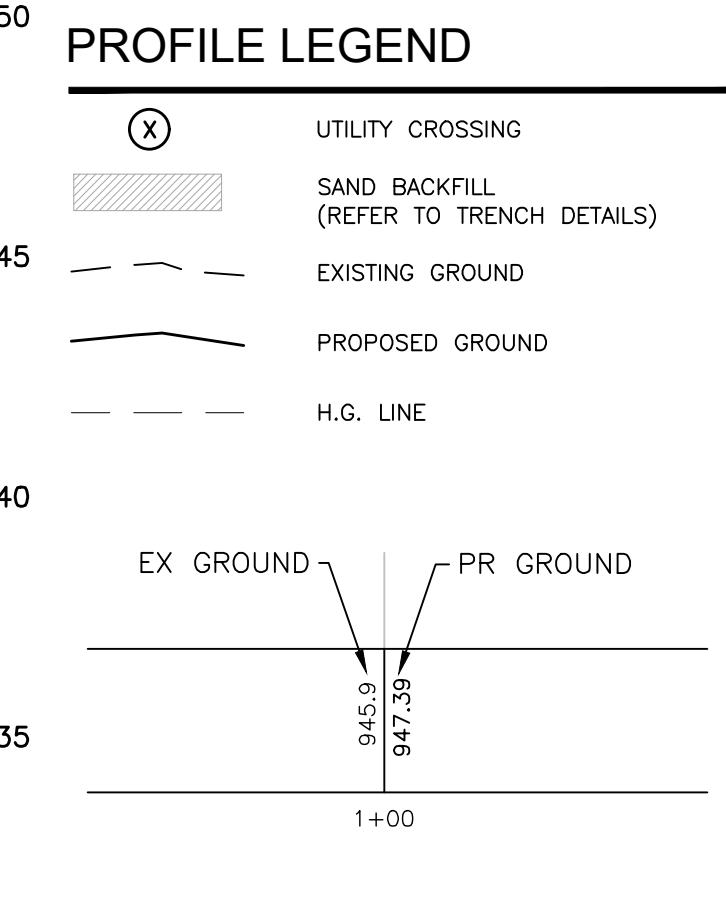
C-6.5

NOT FOR CONSTRUCTION



PR STRM - MH-25 TO ES-34

PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'



- NOTES**
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INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS

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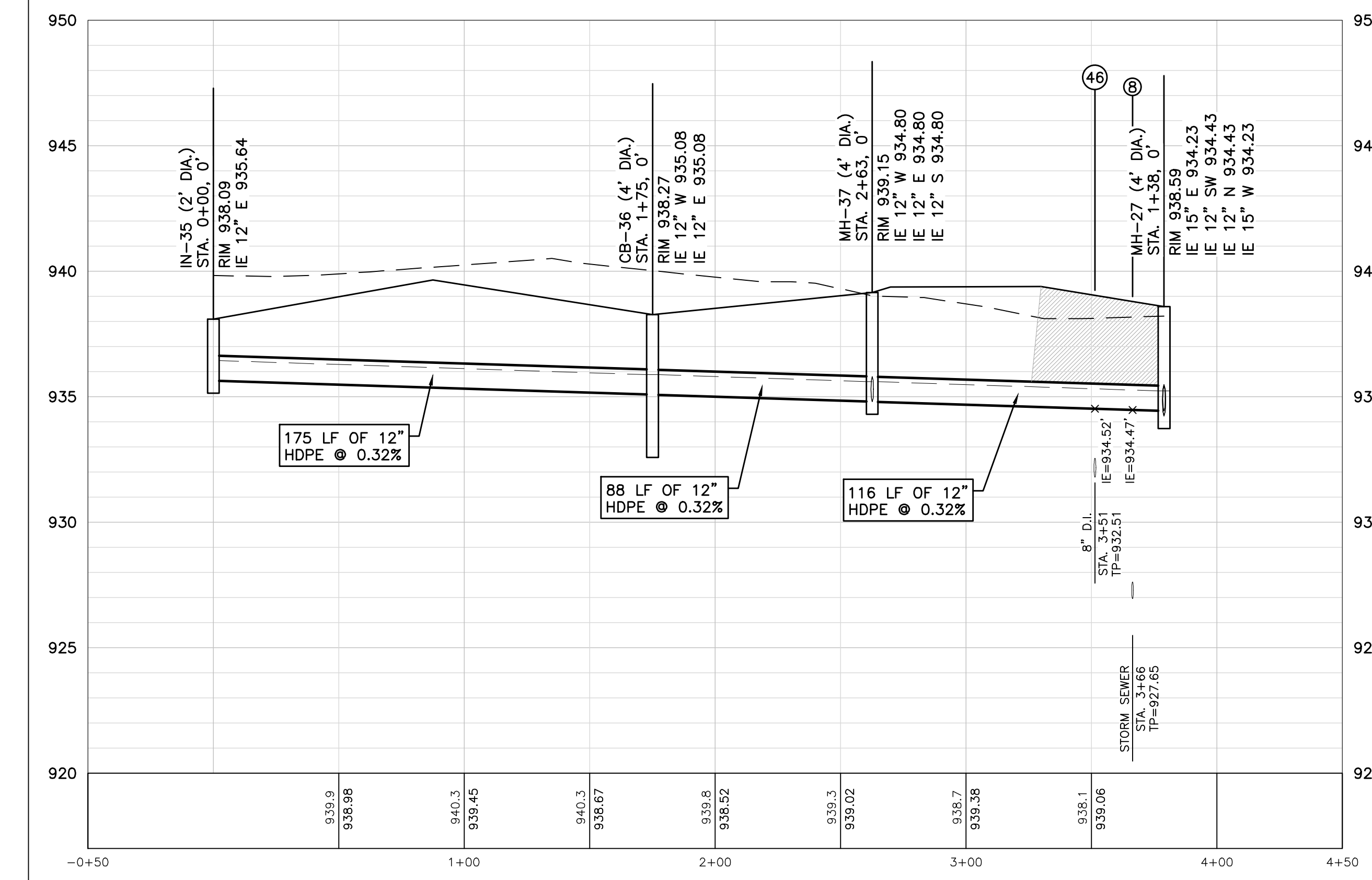
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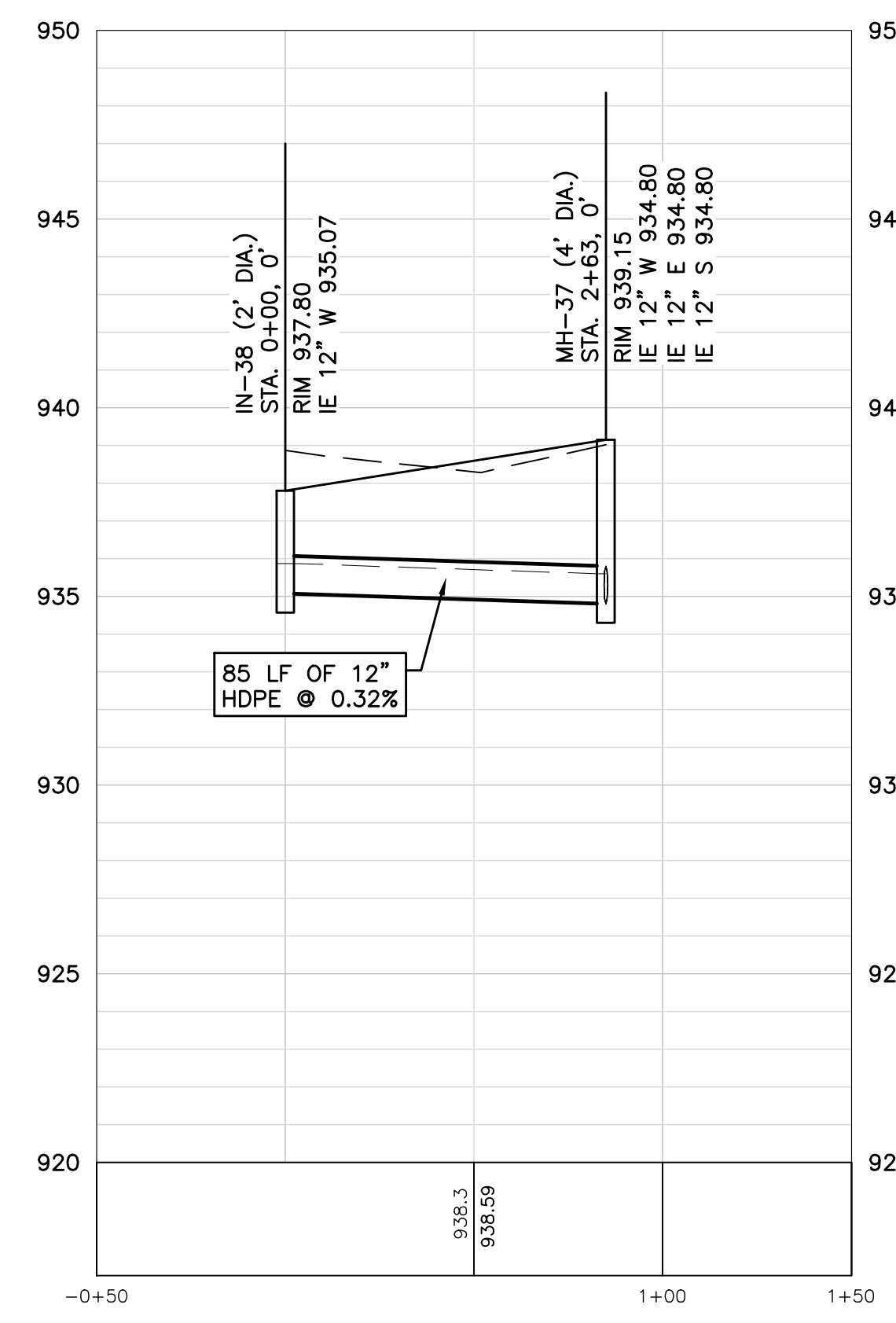
CHESTNUT DEVELOPMENT, LLC
3800 CHILSON ROAD
HOWELL, MI 48843

POC: STEVE GRONOW
517-552-2489



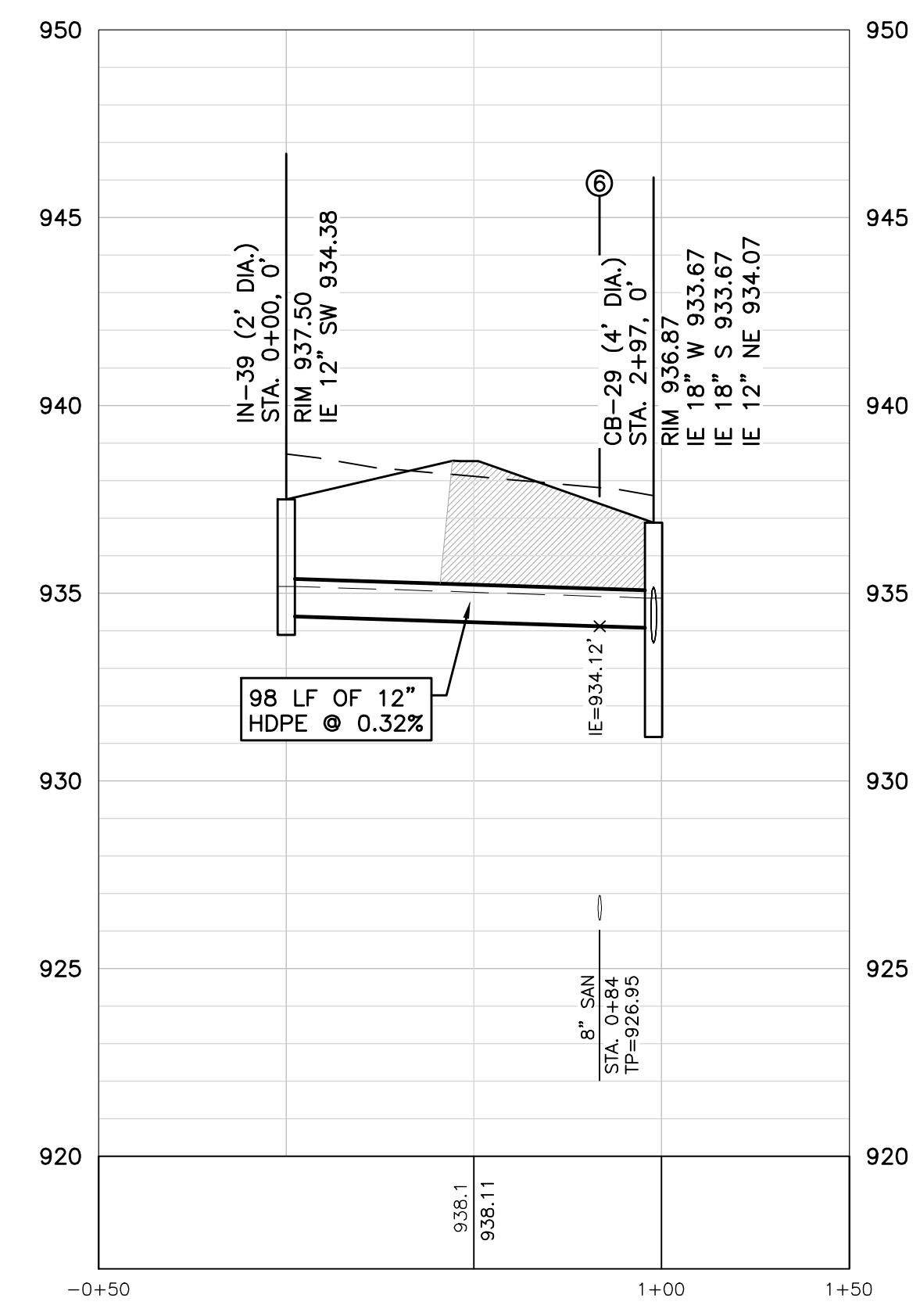
PR STRM - IN-35 TO MH-27

PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'



PR STRM - IN-38 TO MH-37

PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'



PR STRM - IN-39 TO CB-29

PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'

STORM SEWER PROFILES

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TAX ID# 06-29-200-029
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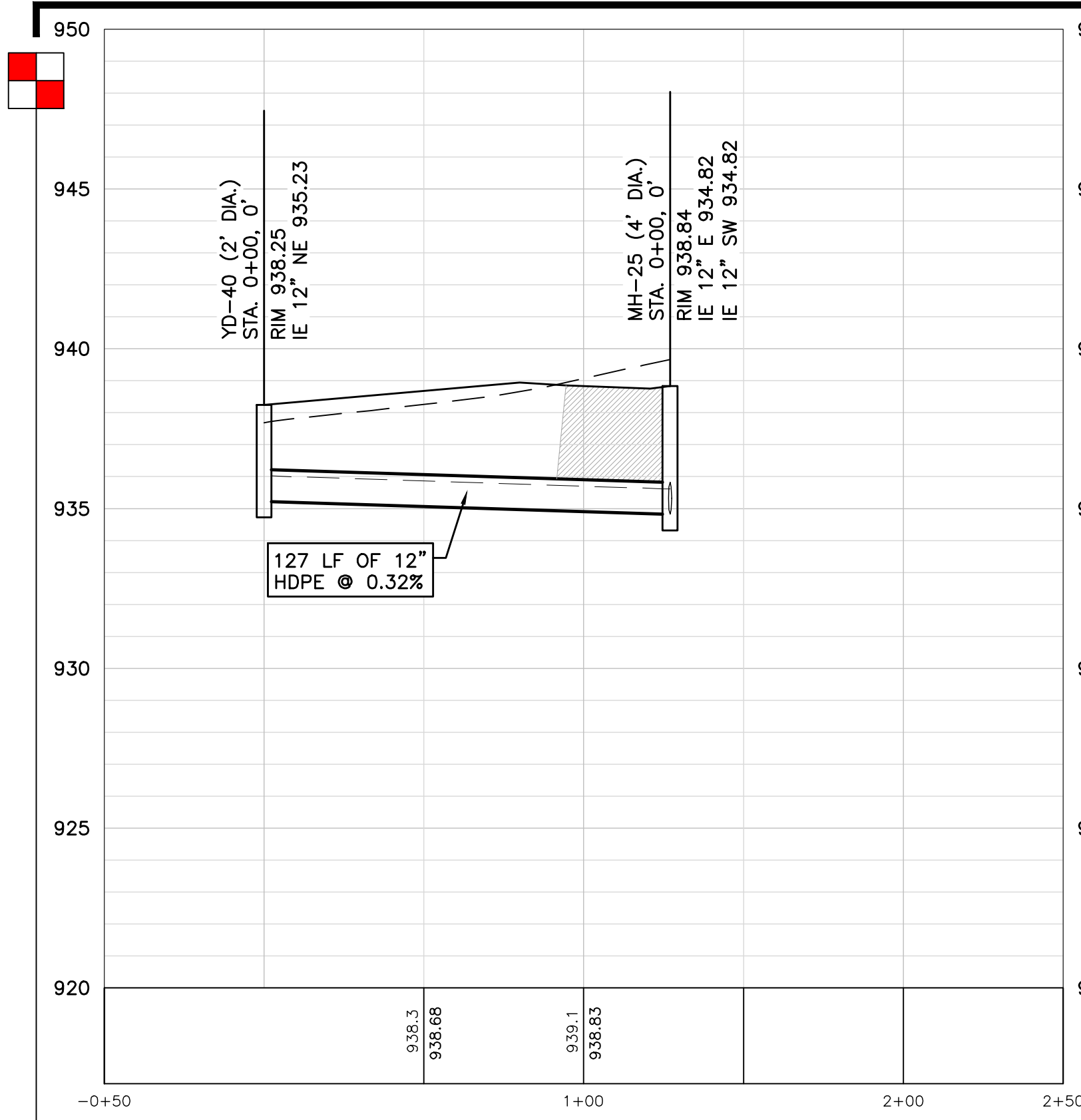
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DESIGN BY: BS
CHECK BY: AP

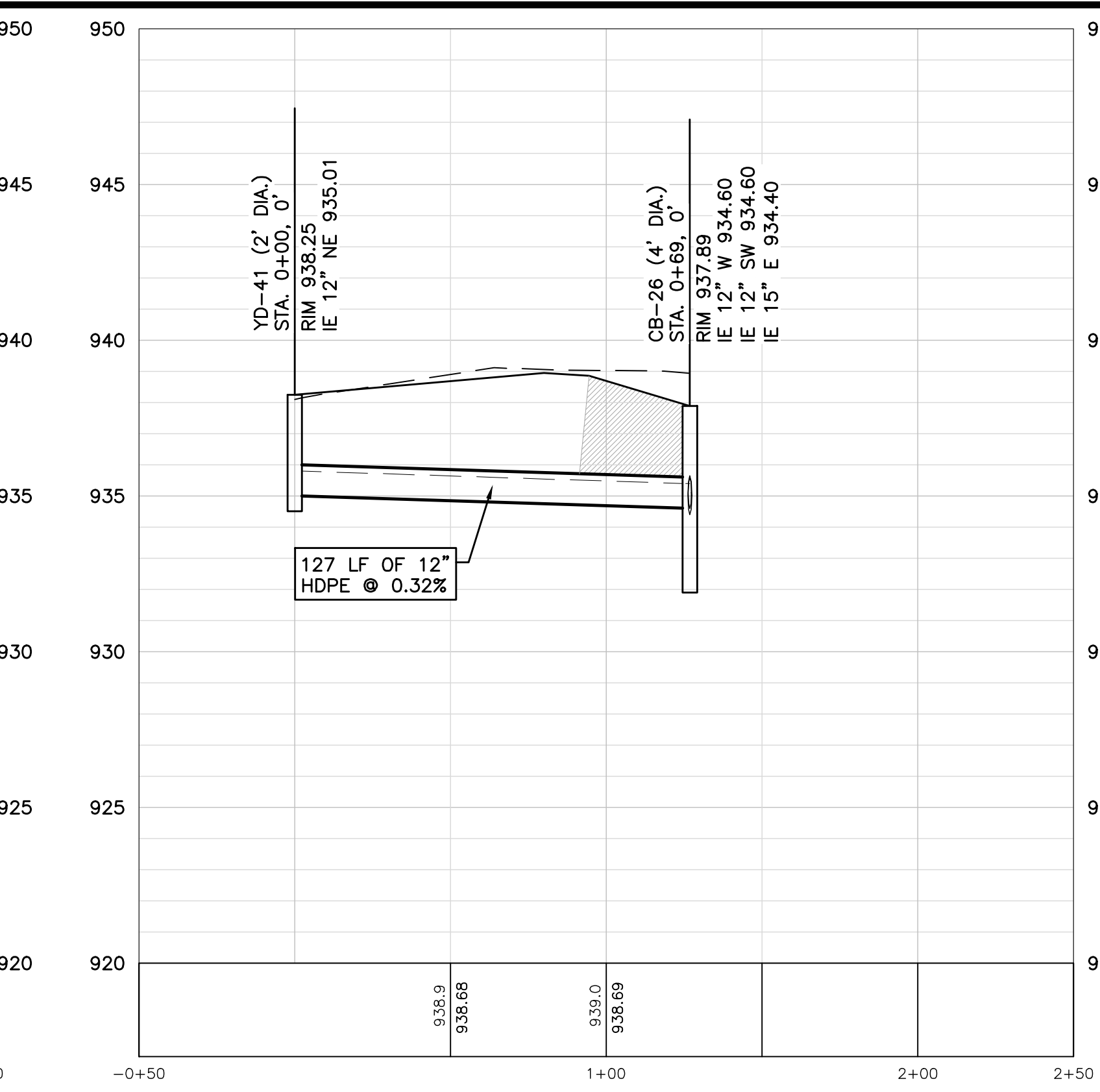
C-6.6

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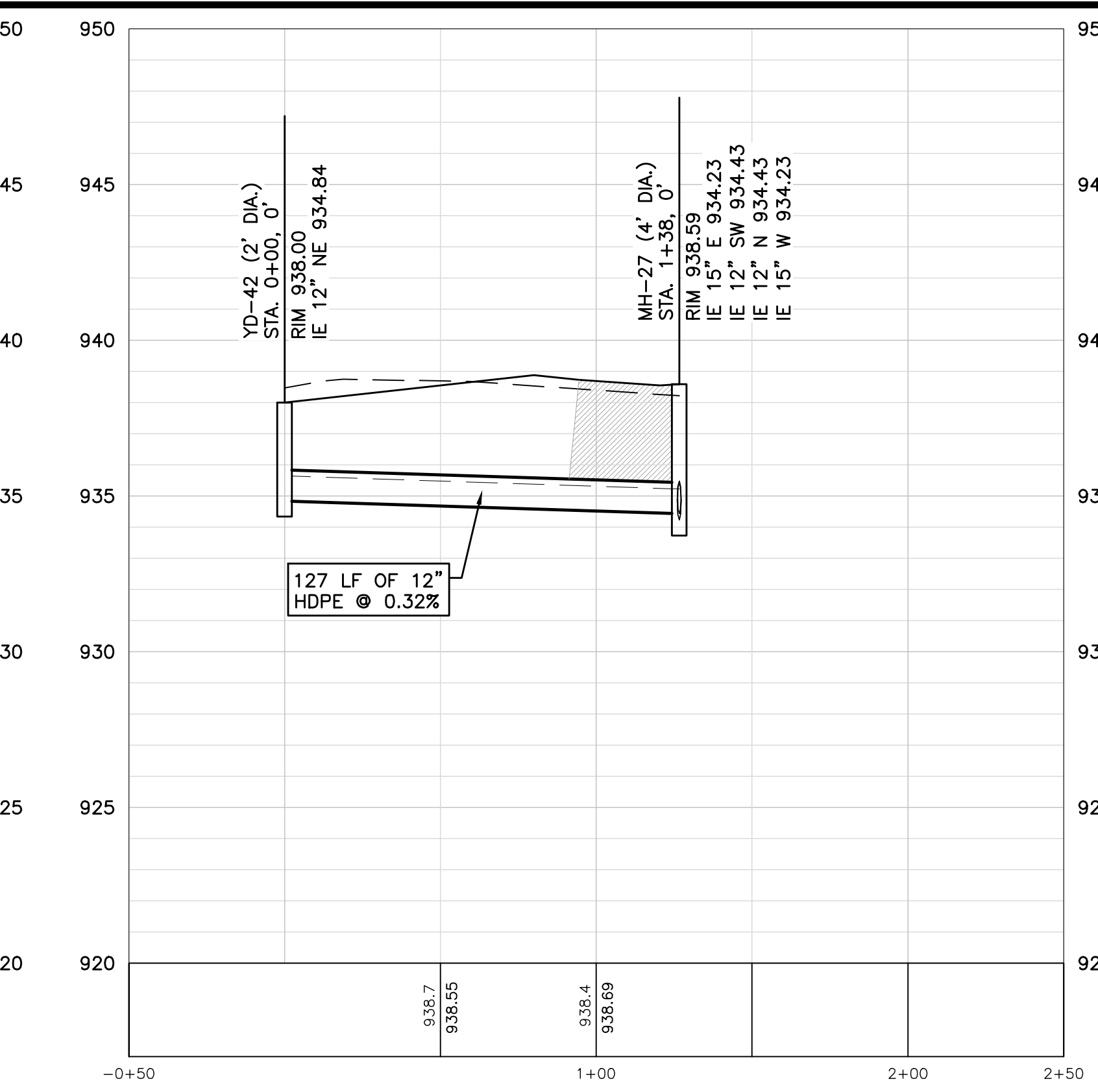
PR STRM - YD-40 TO MH-25

PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'



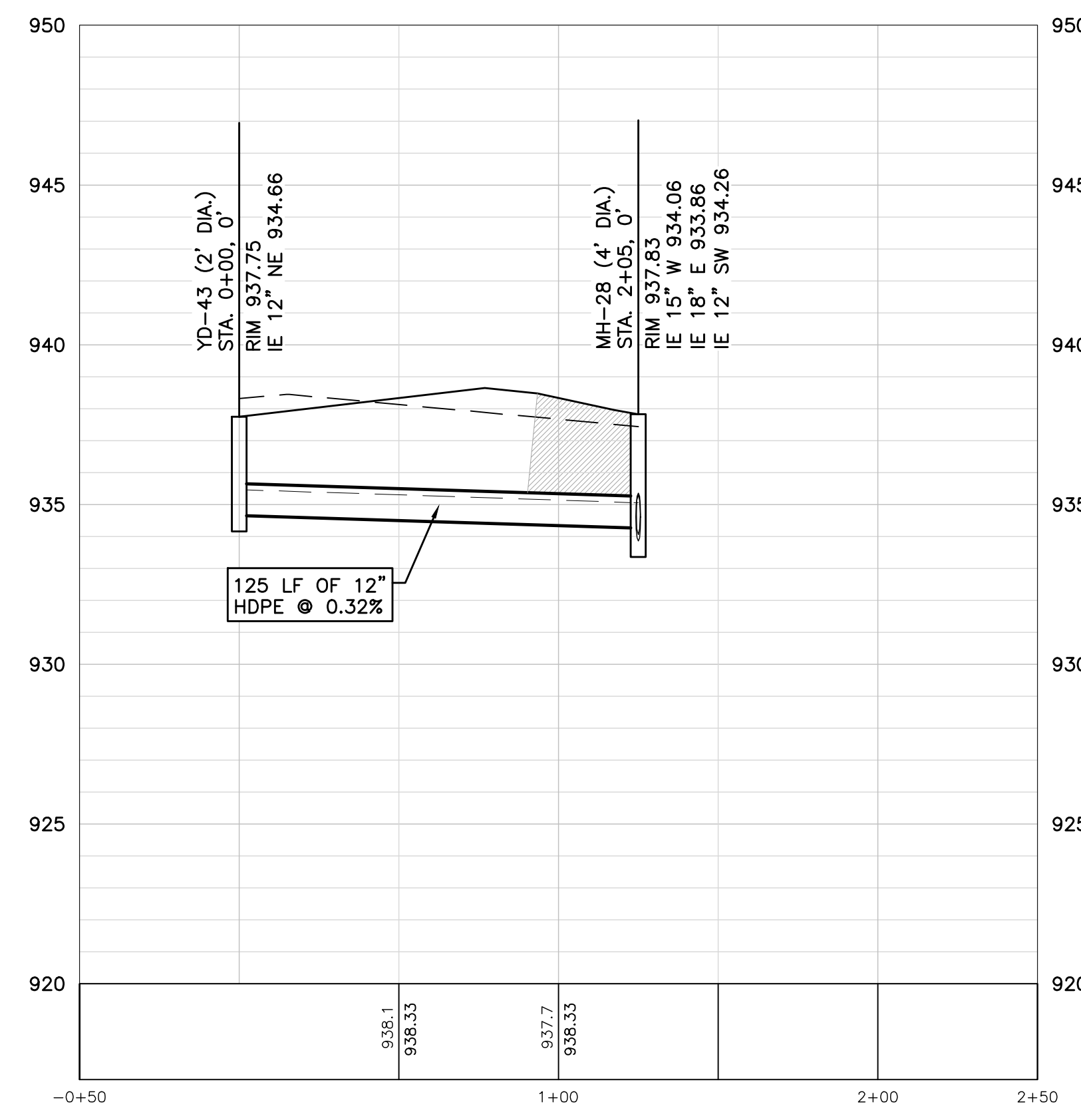
PR STRM - YD-41 TO CB-26

PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'



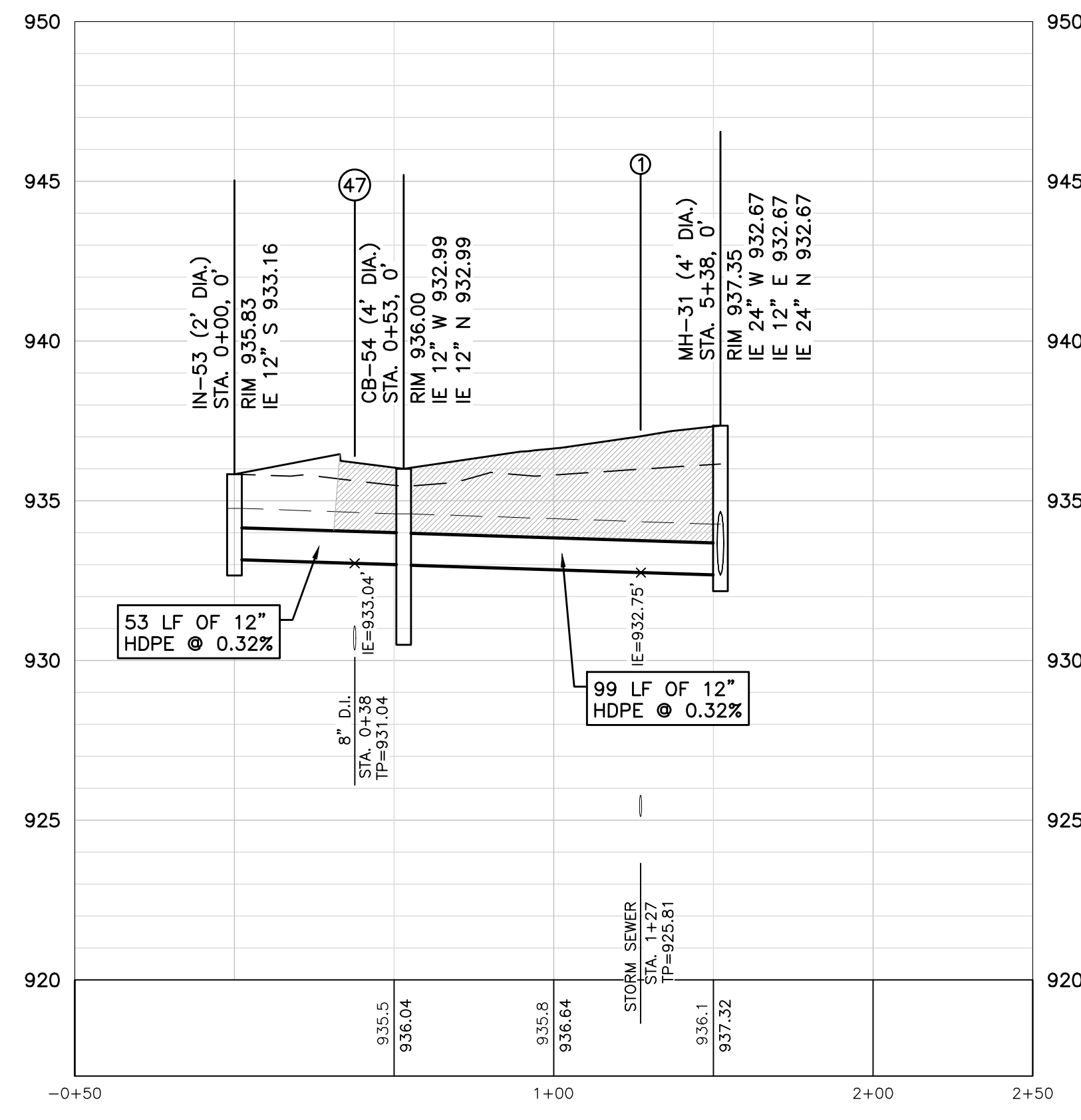
PR STRM - YD-42 TO MH-27

PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'



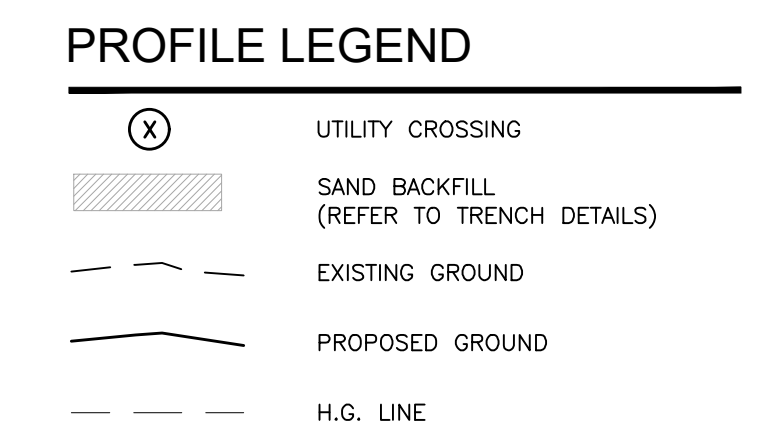
PR STRM - YD-43 TO MH-28

PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'



PR STRM - IN-53 TO MH-31

PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'



- NOTES**
- SAND BACKFILL AND BEDDING TO BE MDOT CL.II.
 - MAINTAIN MINIMUM 18" VERTICAL CLEARANCE BETWEEN ALL UTILITIES.

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STORM SEWER PROFILES

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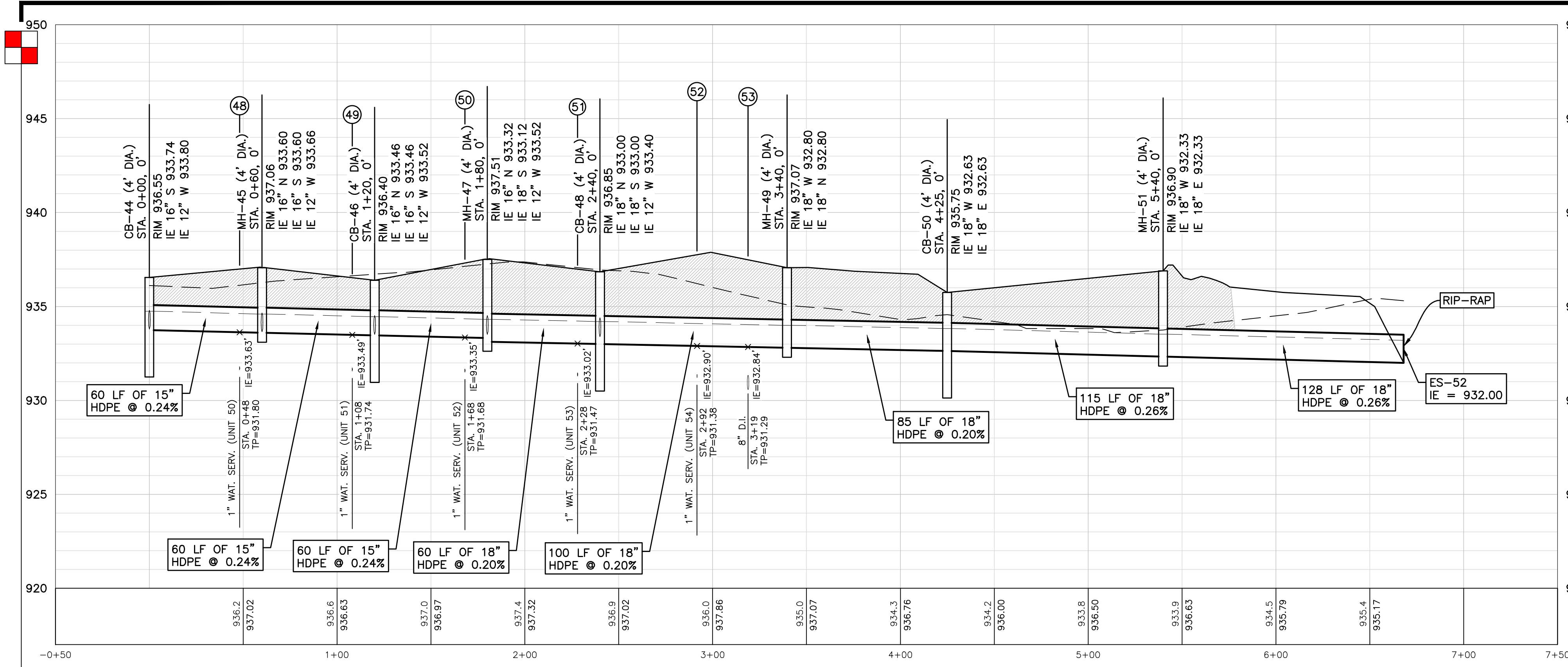
PROJECT NO: 22-286

SCALE: 1" = 40'

FIELD:
DRAWN BY: CD
DESIGN BY: BS
CHECK BY: AP

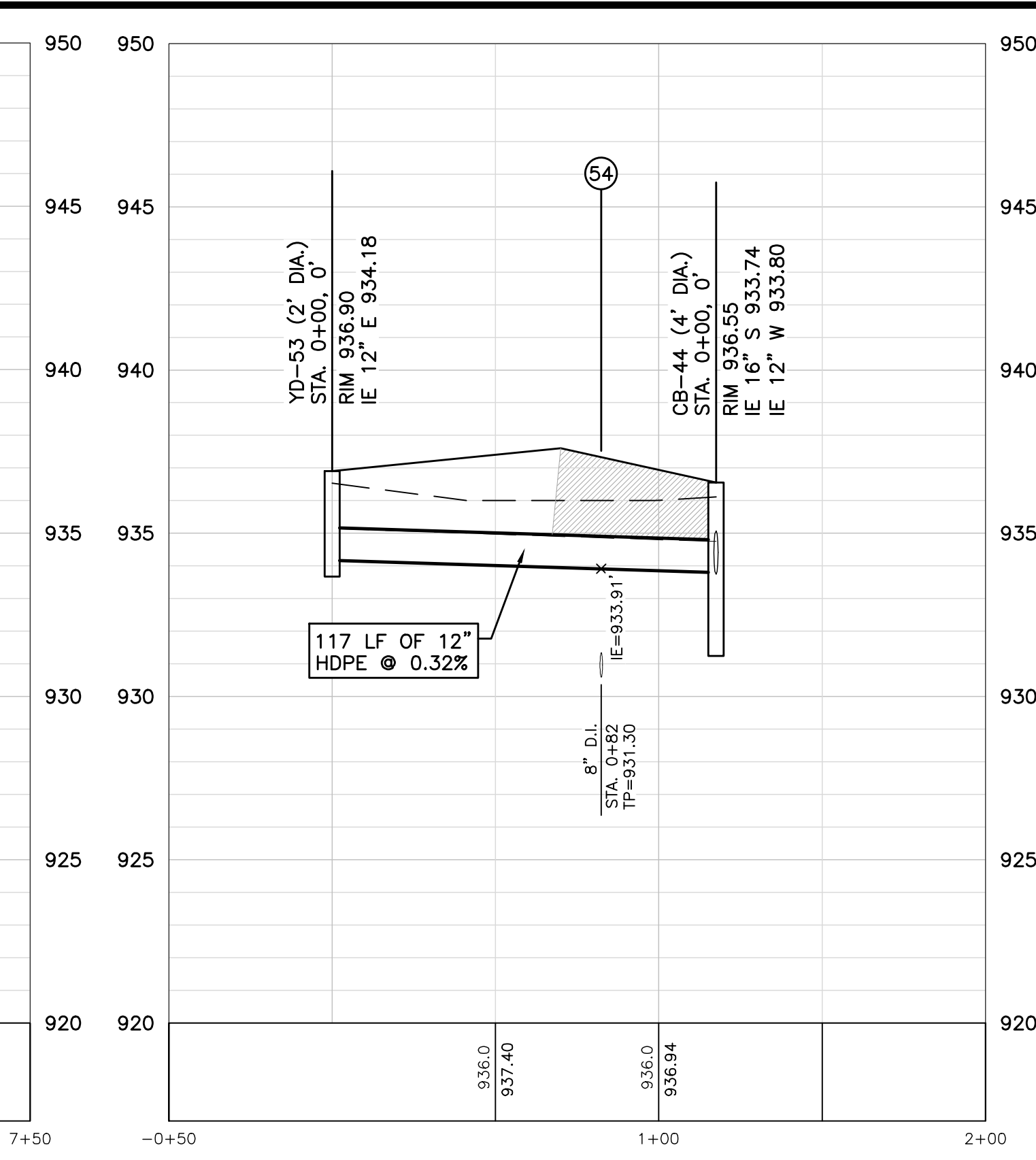
C-6.7

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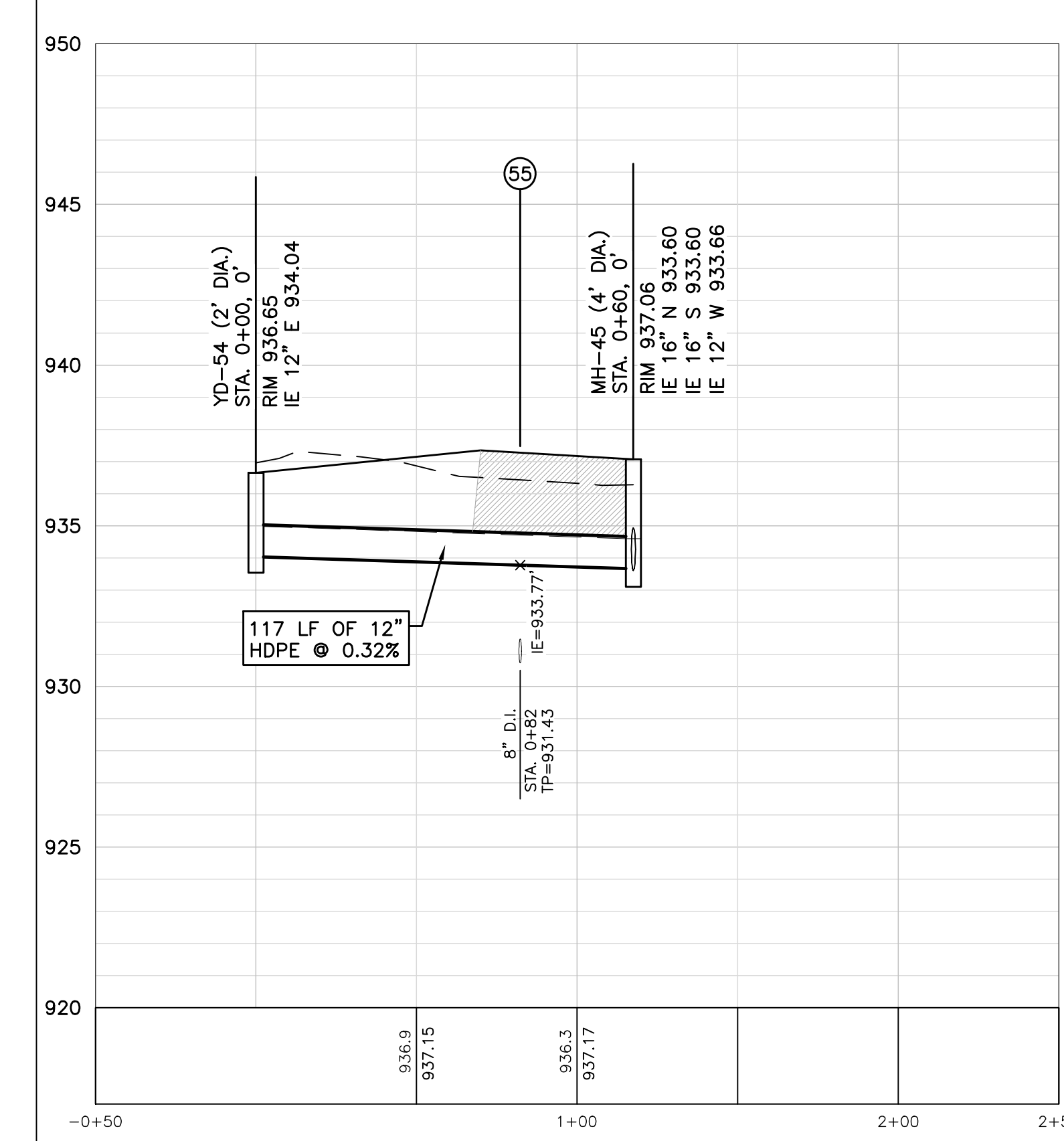
PR STRM - CB-44 TO ES-52

PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'



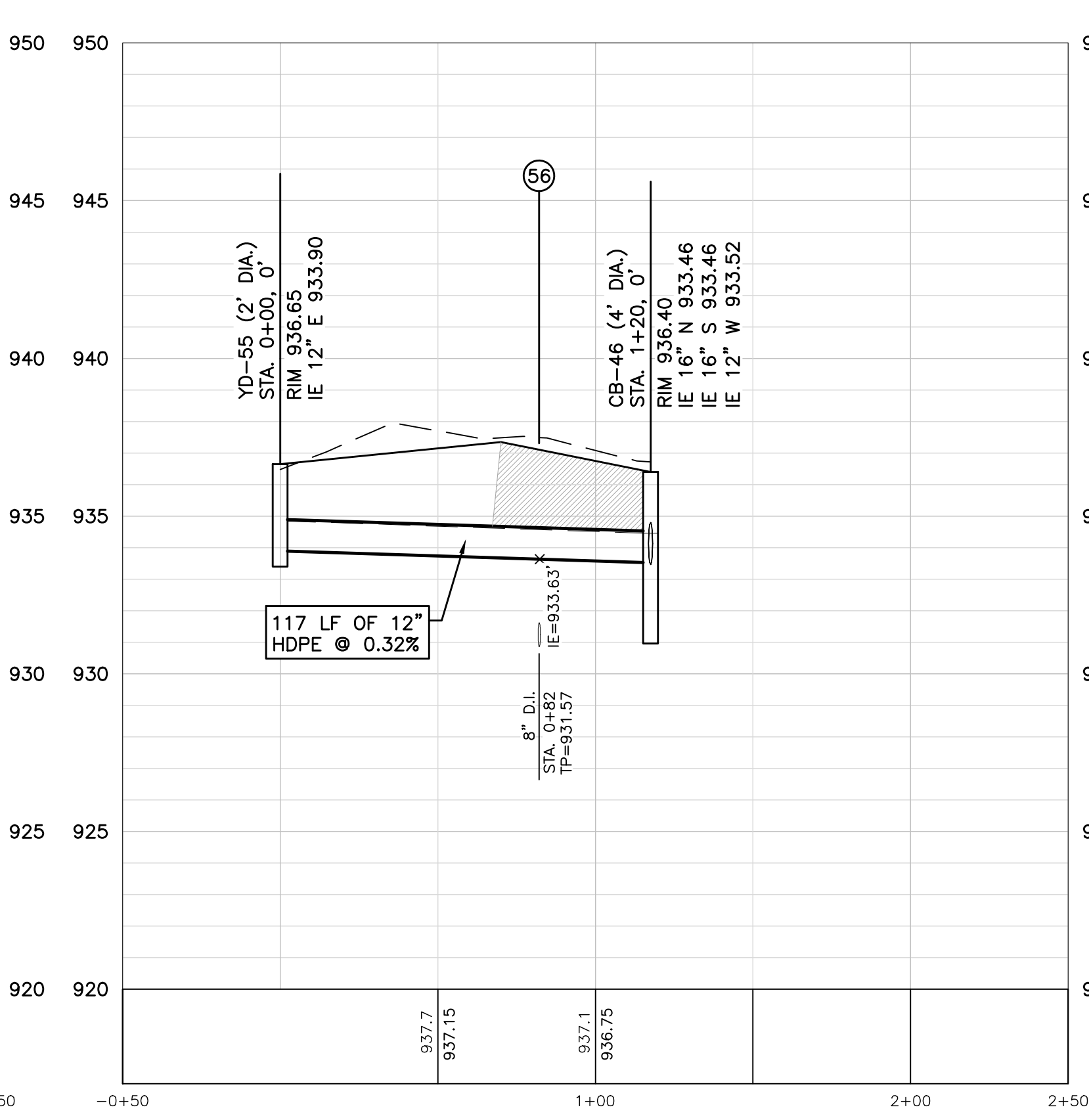
PR STRM - YD-53 TO CB-44

PROFILE SCALE
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VERT: 1"=4'



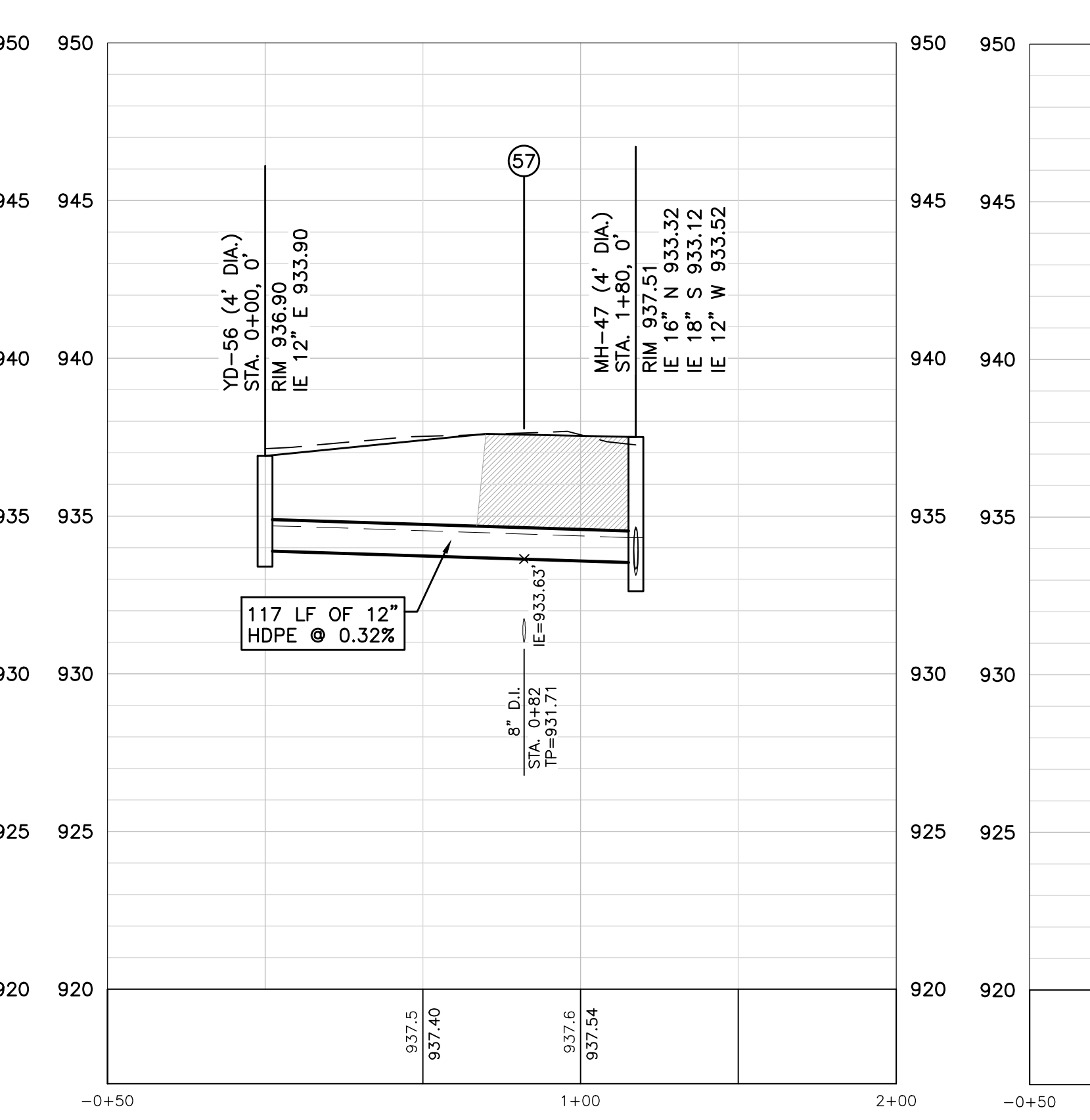
PR STRM - YD-54 TO MH-45

PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'



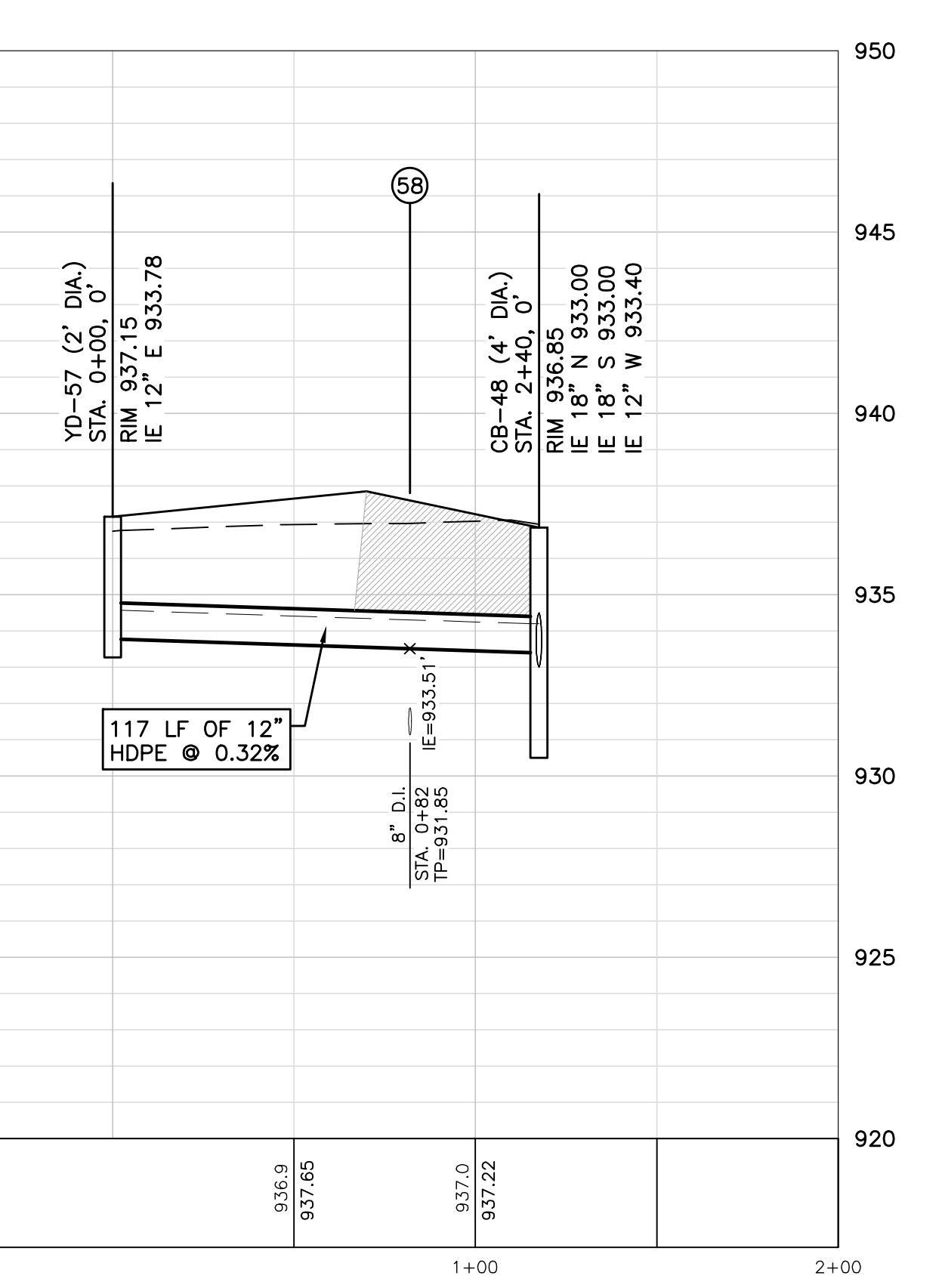
PR STRM - YD-55 TO CB-46

PROFILE SCALE
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VERT: 1"=4'



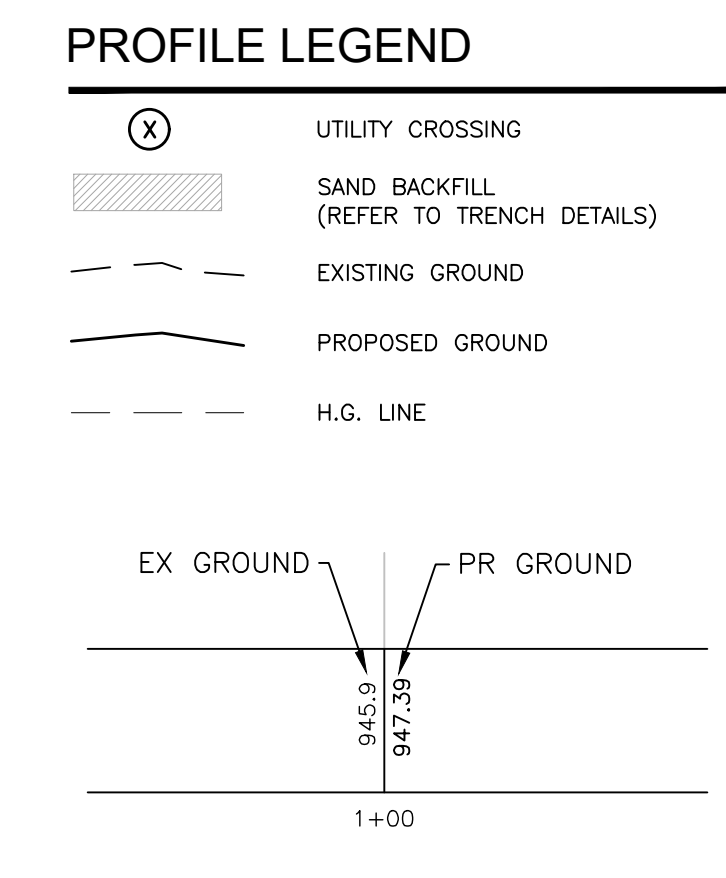
PR STRM - YD-56 TO MH-47

PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'



PR STRM - YD-57 TO CB-48

PROFILE SCALE
HORIZ: 1"=40'
VERT: 1"=4'



- NOTES**
- SAND BACKFILL AND BEDDING TO BE MDOT CL.II.
 - MAINTAIN MINIMUM 18" VERTICAL CLEARANCE BETWEEN ALL UTILITIES.

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ENGINEER
NO. 6201043168

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CLIENT :

CHESTNUT DEVELOPMENT, LLC
3800 CHILSON ROAD
HOWELL, MI 48843

POC: STEVE GRONOW
517-552-2489

STORM SEWER PROFILES

CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN

PLAN SUBMITTALS/REVISIONS	DATE
PRELIMINARY/FINAL SITE PLAN SUBMITTAL	5/28/2024
REVISED SITE PLAN SUBMISSION	5/30/2024

ORIGINAL ISSUE DATE:
02/29/2024

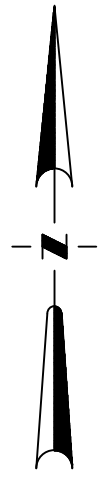
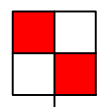
PROJECT NO: 22-286

SCALE: 1" = 40'
0 1/2" 1"

FIELD:
DRAWN BY: CD
DESIGN BY: BS
CHECK BY: AP

C-6.8

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BENCHMARKS

DATUM: NAVD88

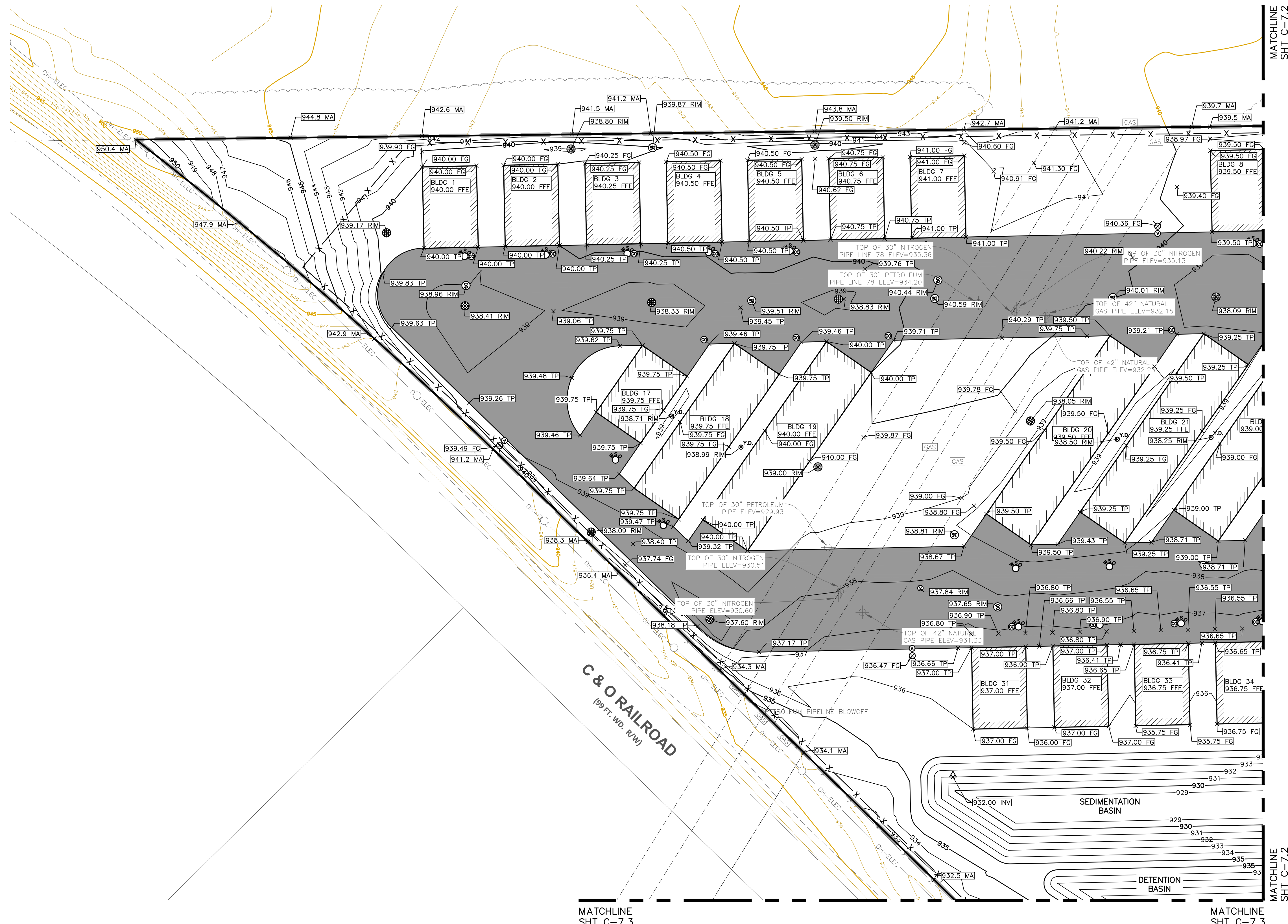
BM A:
TOP OF FLANGE BOLT OF HYDRANT, 57'± NORTH OF ROAD CATCH BASIN, 33'± WEST OF THE CENTERLINE OF BURKHART ROAD.
ELEV =936.19

BM B:
TOP OF FLANGE BOLT OF HYDRANT, 14'± NORTH OF ROAD CATCH BASIN, 30'± WEST OF THE CENTERLINE OF BURKHART ROAD.
ELEV =938.22

BM B:
TOP OF FLANGE BOLT OF HYDRANT, 79'± NORTH OF ROAD CATCH BASIN, 30'± WEST OF THE CENTERLINE OF BURKHART ROAD.
ELEV =941.72

GRADING LEGEND

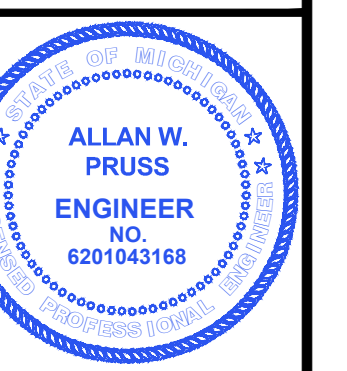
- X 940.00 TP PROPOSED TOP OF PAVEMENT GRADE
- X 940.00 SW PROPOSED SIDEWALK GRADE
- X 940.00 FG PROPOSED FINISH GRADE
- X 940.00 TC PROPOSED TOP OF CURB GRADE
- X 940.00 GP PROPOSED GUTTER PAN GRADE
- X 940.00 TW PROPOSED TOP OF WALL GRADE
- X 940.00 BW PROPOSED BOTTOM OF WALL GRADE
- X 940.0 MA MATCH EXISTING GRADE
- X 940.0 FFE PROPOSED FINISH FLOOR GRADE
- X 940.00 RIM PROPOSED RIM GRADE
- X 940.00 ADJ-RIM ADJUSTED RIM GRADE
- X 940.00 INV PROPOSED INVERT GRADE
- R ADA COMPLIANT SIDEWALK RAMP
- L ADA COMPLIANT SIDEWALK LANDING
- 900 EXISTING CONTOUR
- 900 PROPOSED CONTOUR
- LIMITS OF DISTURBANCE
- OVERFLOW ROUTE



MATCHLINE
SHT C-7.2

MATCHLINE
SHT C-7.3

MATCHLINE
SHT C-7.3



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CLIENT :
CHESTNUT DEVELOPMENT, LLC
3800 CHILSON ROAD
HOWELL, MI 48843
POC: STEVE GRONOW
517-552-2489

GRADING PLAN - WEST
CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN

PLAN SUBMITTALS/REVISIONS	DATE
PRELIMINARY/FINAL SITE PLAN SUBMITTAL	5/28/2024
REVISED SITE PLAN SUBMISSION	5/30/2024

ORIGINAL ISSUE DATE:
02/29/2024

PROJECT NO: 22-286

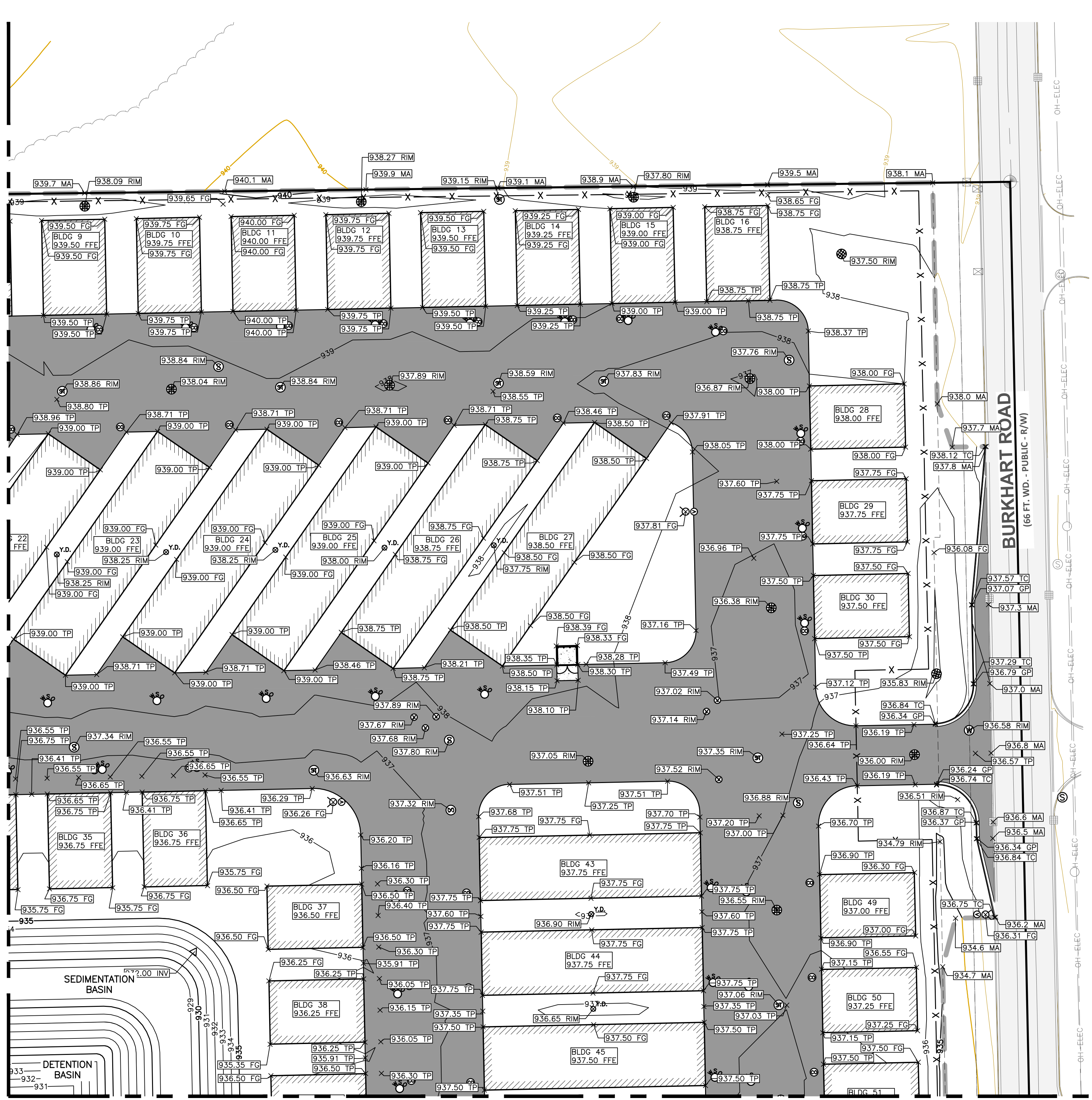
SCALE: 1" = 40'
0 1/2" 1"

FIELD:
DRAWN BY: CD
DESIGN BY: BS
CHECK BY: AP

C-7.1

NOT FOR CONSTRUCTION

MATCHLINE
SHT C-7.1



MATCHLINE
SHT C-7.3

GRADING LEGEND

- X 940.00 TP PROPOSED TOP OF PAVEMENT GRADE
- X 940.00 SW PROPOSED SIDEWALK GRADE
- X 940.00 FG PROPOSED FINISH GRADE
- X 940.00 TC PROPOSED TOP OF CURB GRADE
- X 940.00 GP PROPOSED GUTTER PAN GRADE
- X 940.00 TW PROPOSED TOP OF WALL GRADE
- X 940.00 BW PROPOSED BOTTOM OF WALL GRADE
- X 940.0 MA MATCH EXISTING GRADE
- X 940.0 FFE PROPOSED FINISH FLOOR GRADE
- X 940.00 RIM PROPOSED RIM GRADE
- X 940.00 ADJ-RIM ADJUSTED RIM GRADE
- X 940.00 INV PROPOSED INVERT GRADE
- R ADA COMPLIANT SIDEWALK RAMP
- L ADA COMPLIANT SIDEWALK LANDING
- 900 EXISTING CONTOUR
- 900 PROPOSED CONTOUR
- LIMITS OF DISTURBANCE
- ⚡ OVERFLOW ROUTE

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NO. 6201043168

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CLIENT :

CHESTNUT DEVELOPMENT, LLC
3800 CHILSON ROAD
HOWELL, MI 48843

POC: STEVE GRONOW
517-552-2489

GRADING PLAN - EAST

CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN

PLAN SUBMITTALS/REVISIONS	DATE
PRELIMINARY/FINAL SITE PLAN SUBMITTAL	5/28/2024
REVISED SITE PLAN SUBMISSION	5/30/2024

ORIGINAL ISSUE DATE:
02/29/2024

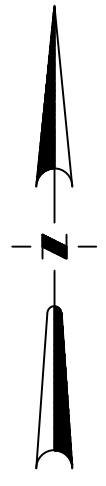
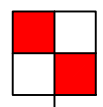
PROJECT NO: 22-286

SCALE: 1" = 40'
0 1/2" 1"

FIELD:
DRAWN BY: CD
DESIGN BY: BS
CHECK BY: AP

C-7.2

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GRADING LEGEND

- X 940.00 TP PROPOSED TOP OF PAVEMENT GRADE
- X 940.00 SW PROPOSED SIDEWALK GRADE
- X 940.00 FG PROPOSED FINISH GRADE
- X 940.00 TC PROPOSED TOP OF CURB GRADE
- X 940.00 GP PROPOSED GUTTER PAN GRADE
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- 900 EXISTING CONTOUR
- 900 PROPOSED CONTOUR
- LIMITS OF DISTURBANCE
- ➔ OVERFLOW ROUTE

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CLIENT :

CHESTNUT DEVELOPMENT, LLC
3800 CHILSON ROAD
HOWELL, MI 48843

POC: STEVE GRONOW
517-552-2489

GRADING PLAN - SOUTH

CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN

PLAN SUBMITTALS/REVISIONS	DATE
PRELIMINARY/FINAL SITE PLAN SUBMITTAL	5/28/2024
REVISED SITE PLAN SUBMISSION	5/30/2024

ORIGINAL ISSUE DATE:
02/29/2024

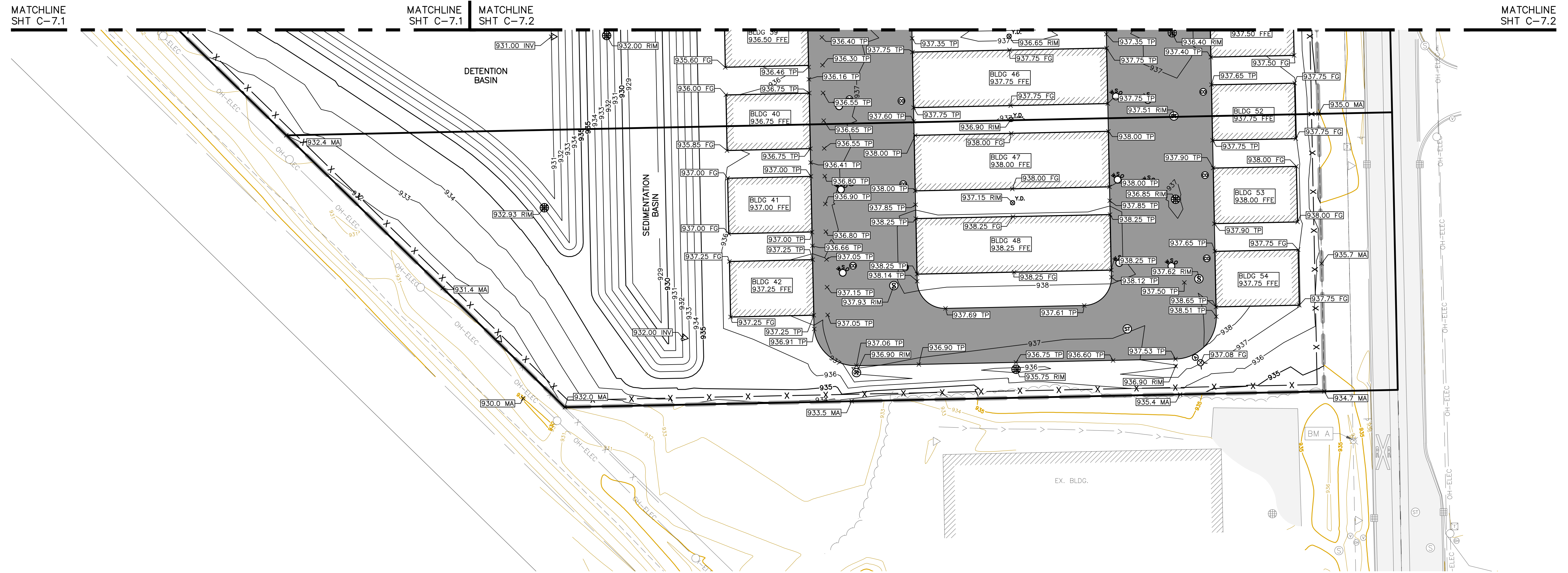
PROJECT NO: 22-286

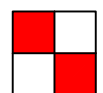
SCALE: 1" = 40'
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FIELD:
DRAWN BY: CD
DESIGN BY: BS
CHECK BY: AP

C-7.3

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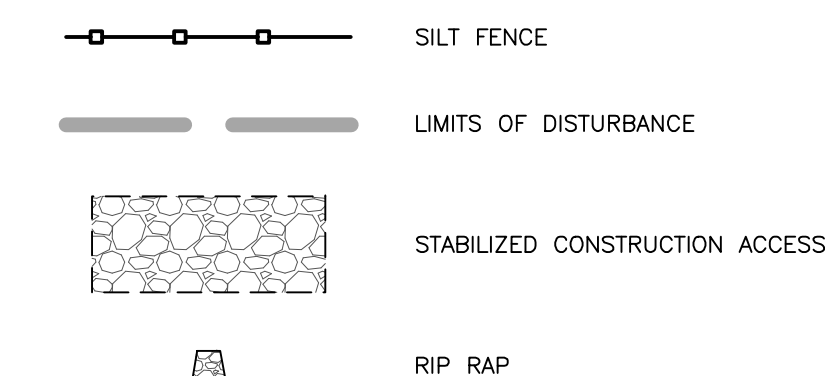
CONSTRUCTION SEQUENCE	OPERATION TIME SCHEDULE -- BEGINNING JUNE 2024					
	JUN	JUL	AUG	SEP	OCT	NOV
1. CONTRACTOR SHALL INSTALL SILT FENCE AS SHOWN ON APPROVED PLANS.						
2. DETENTION BASIN SHALL BE EXCAVATED, TOP SOILED, AND SEEDED IMMEDIATELY AFTER DEMOLITION WORK IS COMPLETED.						
3. REMOVE ALL TOPSOIL AND ORGANIC MATTER. TOPSOIL MAY BE STORED ON SITE IN DESIGNATED AREA TO BE USED FOR FUTURE PLANTING AND FILL AREAS. TRUCK REMAINING TOP SOIL OFFSITE AND PROPERLY DISPOSE.						
4. ROUGH GRADE AND INSTALL NEW UNDERGROUND UTILITIES. PLACE INLET FILTERS AT PROPOSED CATCH BASINS THROUGHOUT SITE.						
5. CONSTRUCT BUILDING(S).						
6. FINISH GRADE AROUND BUILDING(S) AND STABILIZE AS SOON AS POSSIBLE. STABILIZE ALL DISTURBED AREAS WITH CLASS A SEED AND MULCH. IN AREAS OF SLOPES OF 1:4 OR STEEPER, CONTRACTOR TO SEED AND INSTALL PEGGED IN PLACE EROSION CONTROL BLANKETS.						
7. REPAIR/CLEAN INLET FILTERS AS REQUIRED.						
8. INSTALL FINAL LANDSCAPING PER SEPARATE LANDSCAPE PLAN.						
9. STONE AROUND OUTLET STANDPIPE STRUCTURE SHALL BE REFRESHED.						
10. REMOVE TEMPORARY SOIL EROSION MEASURES ONCE SEEDED VEGETATION HAS BEEN ESTABLISHED. CLEAN ALL AFFECTED STORM STRUCTURES AS NECESSARY.						

SOILS INFO

SOIL TYPES ARE ACCORDING TO THE USDA SOIL SURVEY WEB SITE (<https://websoilsurvey.sc.egov.usda.gov/App/HomePage.htm>)

- MoB: WAWASEE LOAM, 2-6% SLOPES
- CvraaB: CONOVER LOAM, 0 TO 4% SLOPES
- MrB: MIAMI-CONOVER LOAMS, 2-6% SLOPES

SESC LEGEND



EROSION CONTROL QUANTITIES

Disturbed Area: 18.99 Acres

QTY	UNIT	ITEM
3,935	LF	SILT FENCE
46	EA	INLET FILTER
1	EA	STABILIZED CONSTRUCTION ACCESS
99	SY	RIP-RAP

NOTE: QUANTITIES ARE FOR ENTIRE SITE

DTMB SOIL EROSION & SEDIMENTATION CONTROL MEASURES

MICHIGAN DEPARTMENT OF TECHNOLOGY, MANAGEMENT, AND BUDGET (DTMB)

EROSION CONTROLS

KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
E6	MULCH		FOR USE IN AREAS SUBJECT TO EROSION SURFACE FLOWS OR SEVERE WIND OR ON NEWLY SEEDED AREAS.
E8	PERMANENT SEEDING		STABILIZATION METHOD UTILIZED ON SITES WHERE EARTH CHANGE HAS BEEN COMPLETED (FINAL GRADING ATTAINED).

SEDIMENT CONTROLS

KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
S51	SILT FENCE		USE ADJACENT TO CRITICAL AREAS, TO PREVENT SEDIMENT LAIDEN SHEET FLOW FROM ENTERING THESE AREAS.
S53	STABILIZED CONSTRUCTION ACCESS		USED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE.
S55	SEDIMENT BASIN		AT THE OUTLET OF DISTURBED AREAS AND AT THE LOCATION OF A PERMANENT DETENTION BASIN.
S58	INLET PROTECTION FABRIC DROP		USE AT STORMWATER INLETS, ESPECIALLY AT CONSTRUCTION SITES.

EROSION & SEDIMENT CONTROLS

KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
ES31	CHECK DAM		USED TO REDUCE SURFACE FLOW VELOCITIES WITHIN CONSTRUCTED AND EXISTING FLOW CORRIDORS.

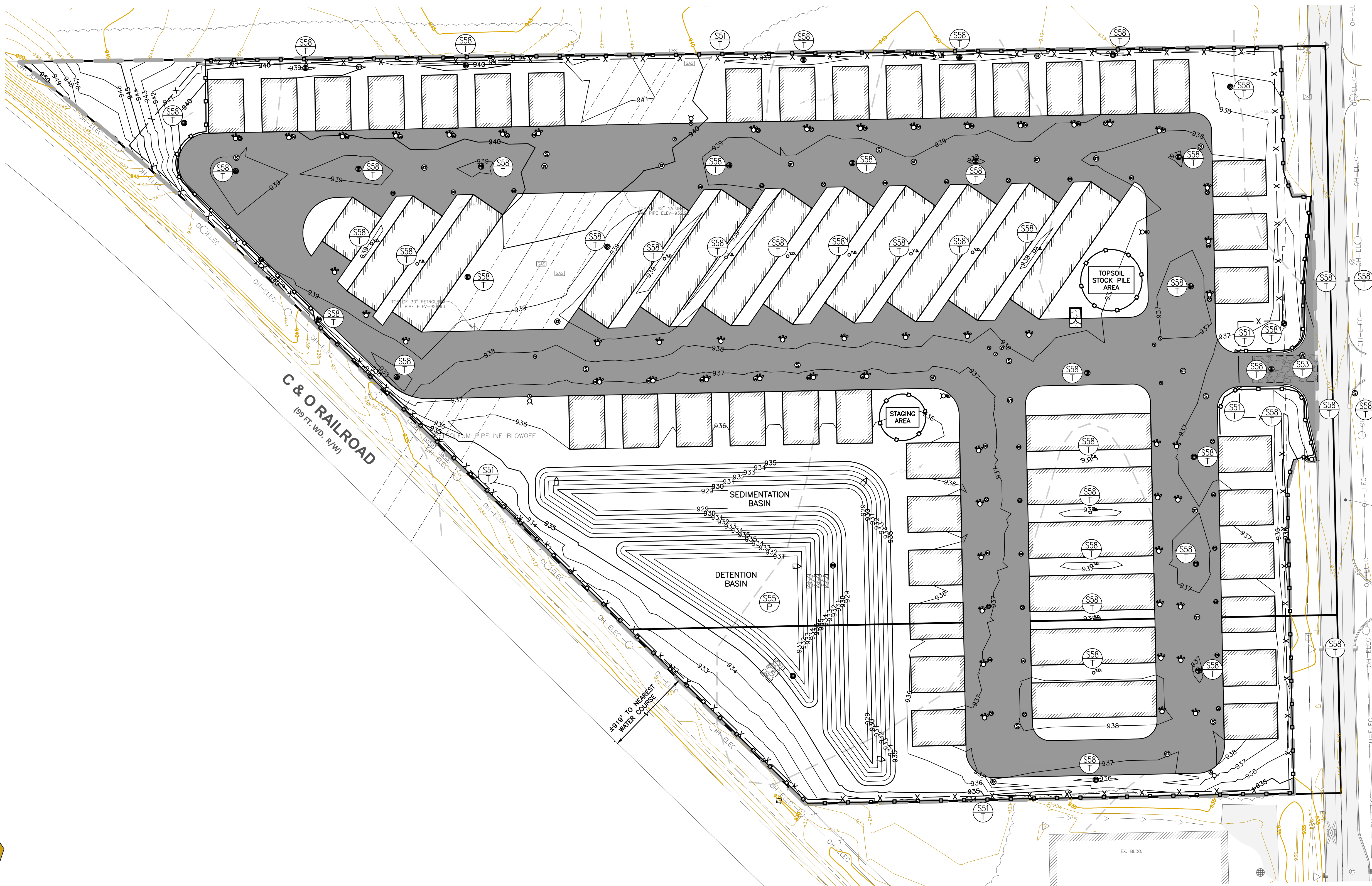
XX TEMPORARY XX PERMANENT

EROSION CONTROL STANDARDS

- ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE LIVINGSTON COUNTY DRAIN COMMISSIONER'S OFFICE.
- DAILY INSPECTION SHALL BE MADE BY THE CONTRACTOR FOR EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES, AND ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
- EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
- CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES WHEN REQUIRED AND AS DIRECTED ON THESE PLANS. CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES AND OTHER CHANGES HAS BEEN ACCOMPLISHED.
- STAGING OF THE WORK WILL BE DONE BY THE CONTRACTOR AS DIRECTED IN THESE PLACES AND AS REQUIRED TO INSURE PROGRESSIVE STABILIZATION OF DISTURBED AREAS.
- SOIL EROSION CONTROL PRACTICES WILL BE ESTABLISHED IN EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THE SITE.
- A CERTIFIED STORM WATER OPERATOR WILL BE NAMED ON THE MDEQ NOTICE OF COVERAGE FOR NPDES AS REQUIRED.
- ALL DISTURBED AREAS ARE TO BE TOP SOILED AND SEEDED WITH THE FOLLOWING MIN RATIO: TOP-SOIL 3" IN DEPTH, GRASS SEED 218 LBS PER ACRE, FERTILIZER 150 LBS PER ACRE, STRAW MULCH 3" DEPTH 1.5 TO 2 TONS PER ACRE.
- HYDRO-SEEDING IS NOT ACCEPTABLE FOR SLOPES EXCEEDING 1%. ON SLOPES OVER 1%, STABILIZATION SHALL BE DONE WITH SEED AND STRAW MULCH WITH A TACKIFIER, OR STRAW BLANKETS PEGGED IN PLACE.

SOIL EROSION CONTROL MAINTENANCE SCHEDULE AND NOTES.

- CONTRACTOR MUST OBTAIN A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT FROM THE LIVINGSTON COUNTY DRAIN COMMISSIONER'S OFFICE PRIOR TO COMMENCING WORK.
- EARTHWORK SHALL BE LIMITED TO THE PROPOSED SITE AS SHOWN ON THE PLAN.
- CONTRACTOR SHALL INSPECT THE SOIL EROSION/SEDIMENTATION CONTROL DEVICES ONCE A WEEK AND/OR WITHIN 24 HOURS OF A RAINFALL EVENT WHICH RESULTS IN A STORM WATER DISCHARGE FROM THE SITE. ANY DAMAGE TO EROSION CONTROL MEASURES MUST BE REPAIRED IMMEDIATELY.
- ALL MUD OR DEBRIS TRACKED ONTO EXISTING PUBLIC ROADS FROM THE SITE DUE TO CONSTRUCTION SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
- SILT FENCE MAINTENANCE SHALL INCLUDE THE REMOVAL OF ANY BUILT-UP SEDIMENT WHEN THE SEDIMENT HEIGHT ACCUMULATES TO 1/3 TO 1/2 OF THE HEIGHT OF THE FENCE. THE CONTRACTOR IS RESPONSIBLE TO REMOVE, REPLACE, RETRENCH OR RE-BACKFILL THE SILTATION FENCE SHOULD IT FAIL OR BE DAMAGED DURING CONSTRUCTION.
- PERMANENT STABILIZATION MUST BE COMPLETED WITHIN 30 DAYS OF FINAL GRADING.
- ACCESS ROADS MUST BE MAINTAINED AS NECESSARY, TO KEEP THEM EFFECTIVE, NEW LAYERS OF STONE MAY BE ADDED AS OLD LAYERS BECOME COMPACTED. STEPS SHOULD ALSO BE TAKEN TO REPAIR THE ACCESS ROADS IF RUTS OR PONDING WATER APPEARS.
- INLET FILTERS SHOULD BE INSPECTED FOR BUILDUP OF SILT AND OTHER DEBRIS. THIS IS EVIDENT IF GEOTEXTILE/SOD STRUCTURE IS CAUSING FLOODING. MAINTENANCE WOULD CONSIST OF REMOVING DEBRIS WITH A STIFF BRISTLE BROOM OR SQUARE POINT SHOVEL. IF INLET FILTER IS BEYOND THIS LEVEL OF REPAIR, IT MAY BE NECESSARY TO REPLACE BOTH THE SOD AND GEOTEXTILE FILTER.
- IF SOIL EROSION/SEDIMENT CONTROL MEASURES ARE INADEQUATE FOR THE SITE. THE PROPER EROSION CONTROL AUTHORITY MUST BE NOTIFIED.
- ANY DEWATERING REQUIRED SHALL HAVE A DEWATERING PLAN SUBMITTED PRIOR TO STARTING THE ACTIVITY AND MAY REQUIRE EGLE APPROVAL.



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CLIENT :

CHESTNUT DEVELOPMENT, LLC
3800 CHILSON ROAD
HOWELL, MI 48843

POC: STEVE GRONOW
517-552-2489

SESC PLAN

CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN

DATE	DESCRIPTION
5/28/2024	PRELIMINARY/FINAL SITE PLAN SUBMITTAL
5/30/2024	REVISED SITE PLAN SUBMISSION

ORIGINAL ISSUE DATE:
02/29/2024

PROJECT NO: 22-286

SCALE: 1" = 60'

0 1/2" 1"

FIELD:
DRAWN BY: CD
DESIGN BY: BS
CHECK BY: AP

C-8.0

NOT FOR CONSTRUCTION

LCDC NOTES

Top Soil & Soil Storage Areas:

- Top soil or soil storage areas shall be seeded and mulched, or matted with straw, immediately after the stripping process is completed, to prevent wind and water erosion.

Slopes and Ditches:

- On-site ditches shall be of the flat bottom type, minimum width of 2' with a minimum of 3' horizontal to 1' vertical side slopes, 3:1.
- Side slopes in excess of 3' horizontal to 1' vertical shall not be used except with a mechanical device such as a retaining wall, or terracing.
- Ditches with steep grades will need "stone flow checks" to prevent scouring of the ditch bottoms. They may be used as a temporary measure and removed once sufficient stabilization has been established. These shall be depicted on plans by the engineer. Indicate flow checks on all slopes 3.00% and greater.

Detention/Retention, Sedimentation Ponds:

- New land developments within Livingston County shall be equipped with detention/retention facilities for storm water in accordance with the Drainage Policies of the Livingston County Drain Commissioner.
- Inlets into detention ponds must not discharge at the same location as the outlet structure.
- Detention Pond Stand Pipe Outlet Detail must be the Livingston County Drain Commissioner's standard Detention Pond outlet, e.g. orifice outlets without sedimentation control devices are prohibited.
- Stand pipe structure must have a 2 ft. sump.
- Detention Pond stand pipe structure shall show staggering of outlet holes at different elevations. This will minimize plugging and provide for more effective filtering.
- The stone around the stand pipe structure shall be refreshed with clean stone prior to completion of the project.
- Detention/Retention, Sedimentation Ponds shall be excavated, top soiled, seeded, mulched and tacked prior to the start of massive earth disruption.
- Inlets into Detention/Retention Ponds must be located within two feet of the bottom floor of the pond.

Detention Pond Spillway:

- Rip-rap proposed in the construction of the emergency spillway must be placed over keyed-in geo-fabric blanket.

Silt Fence:

- All commercial projects constructed in Livingston County shall install 36" high silt fence.

Inlet Protection:

- Sedimentation protection for catch-basin inlets. Silt sacks are the preferred choice in the winter months, because they are less likely to be disturbed by the process of snow plowing.
- Open-Pipe, inlet protection must be provided with straw bales, stone or geo-fabric.

Outlet Protection:

- All storm drains 15" in diameter or larger shall have animal guards installed to prevent entrance to the system.
- All rip-rap must be placed over keyed in geo-fabric.
- Storm drain outlets that do not empty into the retention/detention pond shall have a temporary 5'x10'x3' sump installed at the termination of the storm sewer. Upon completion of the stabilization work the sump area shall be filled and rip-rapped with cobble stone over keyed in filter fabric. Silt traps shall be inspected after each storm.
- Splash blocks may be required depending on the outley flow rate or velocity.

Tracking onto public roadway:

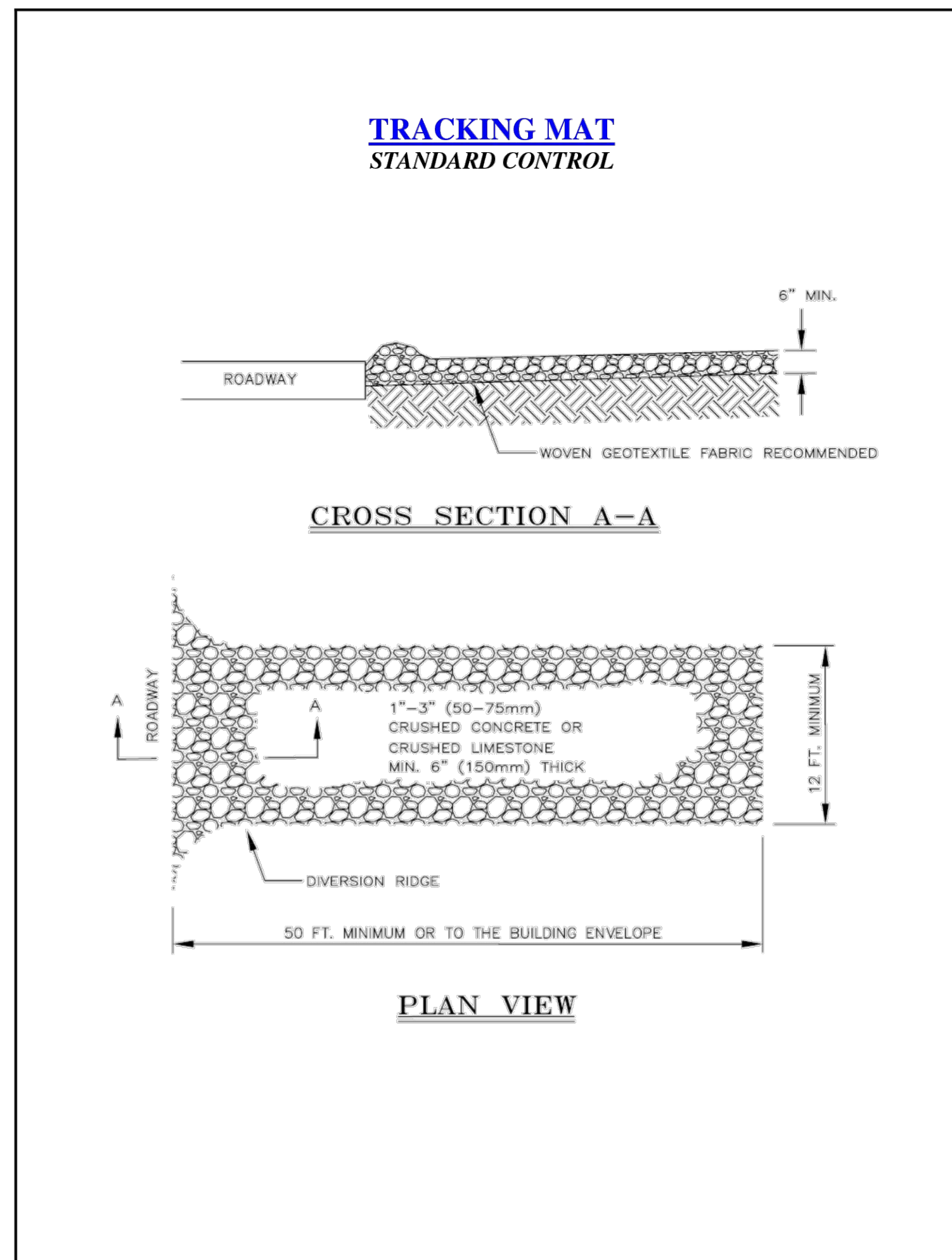
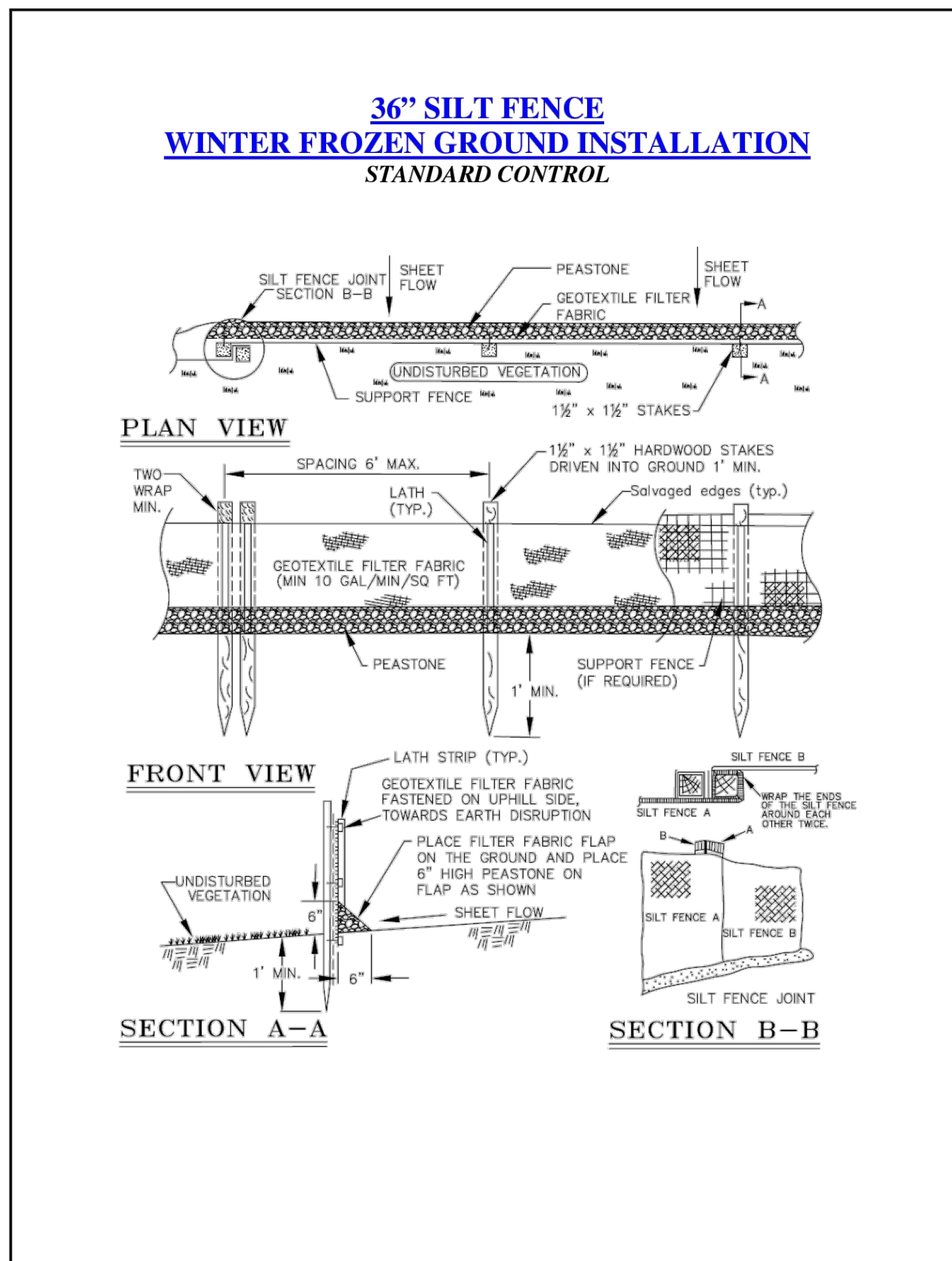
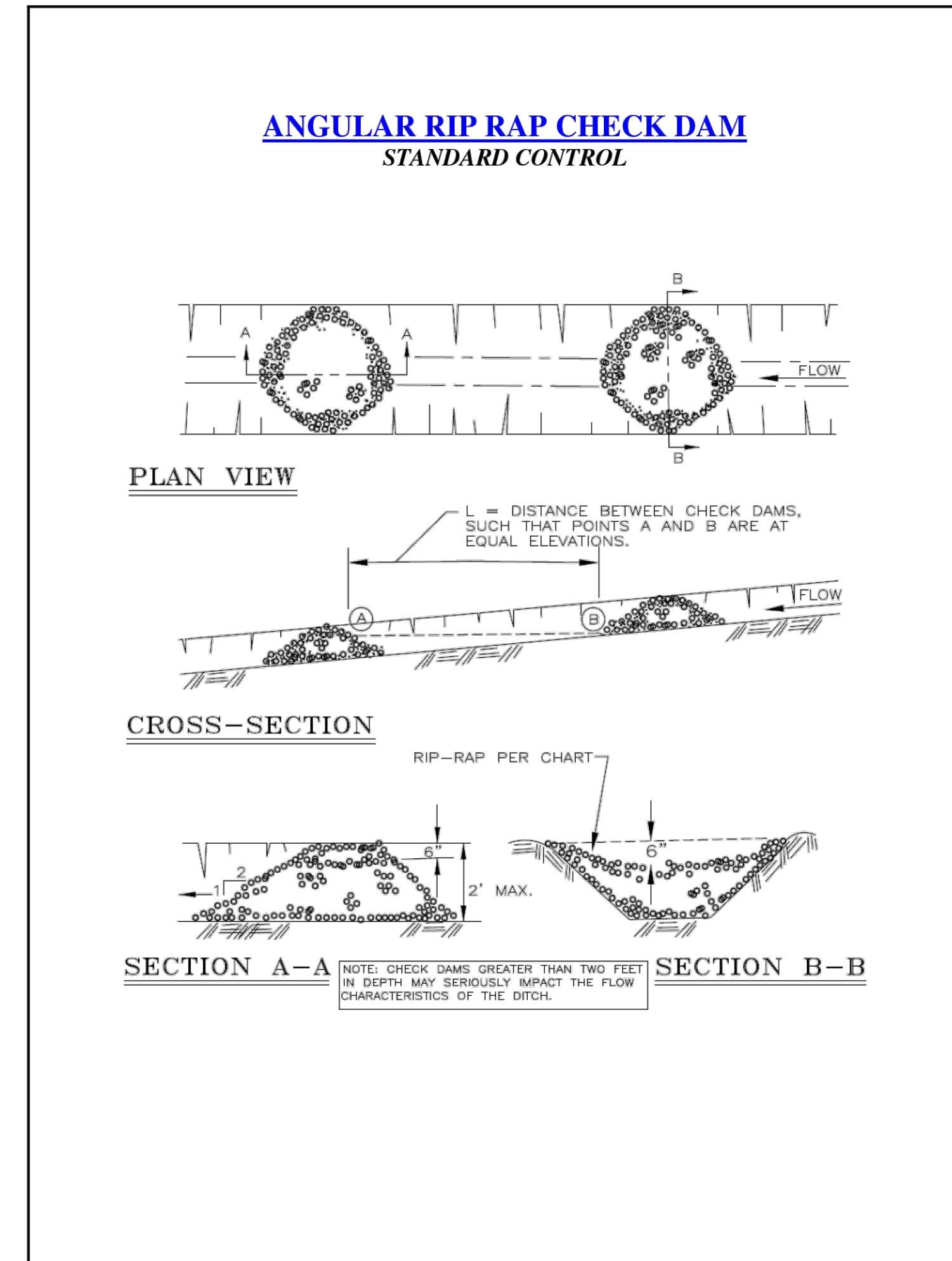
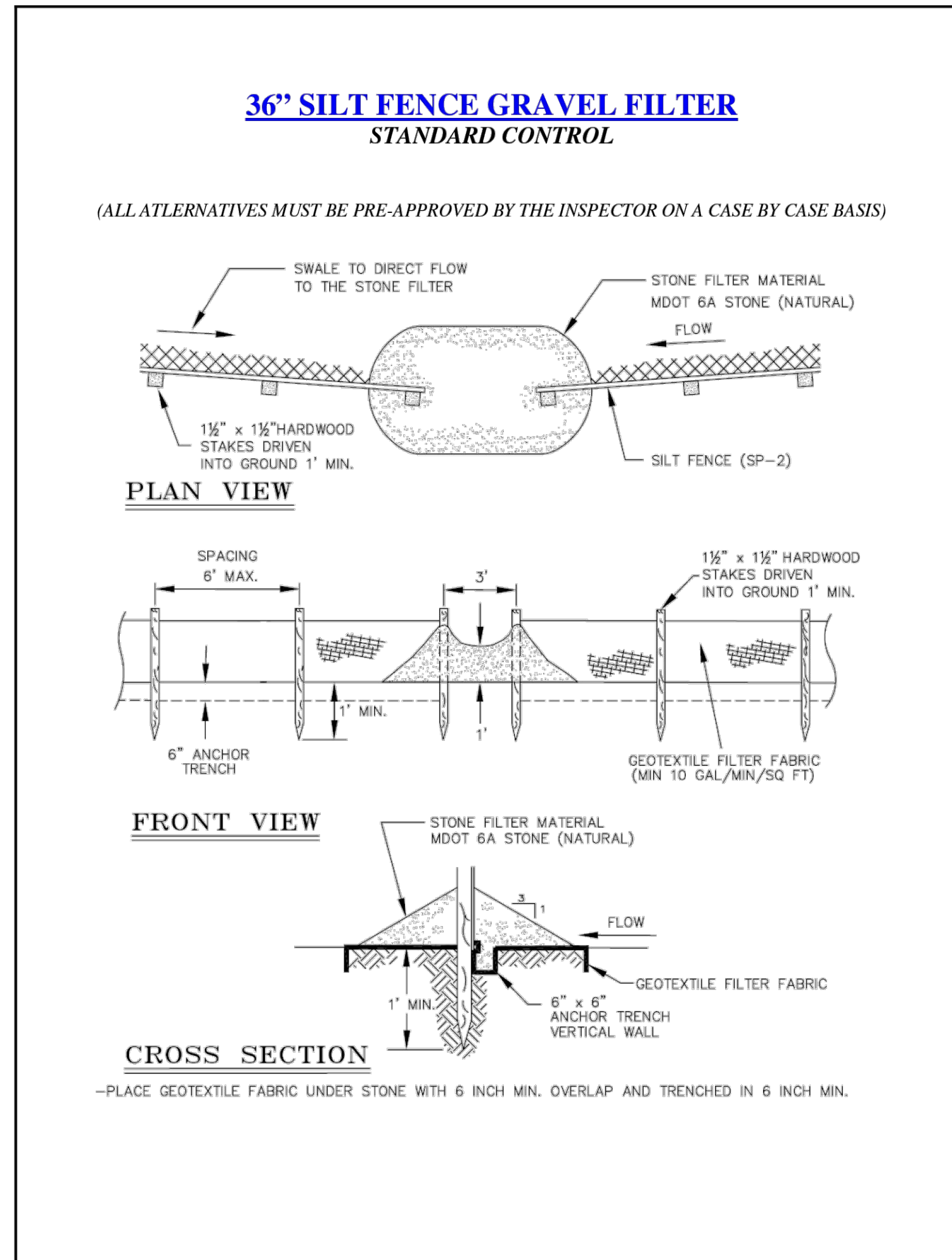
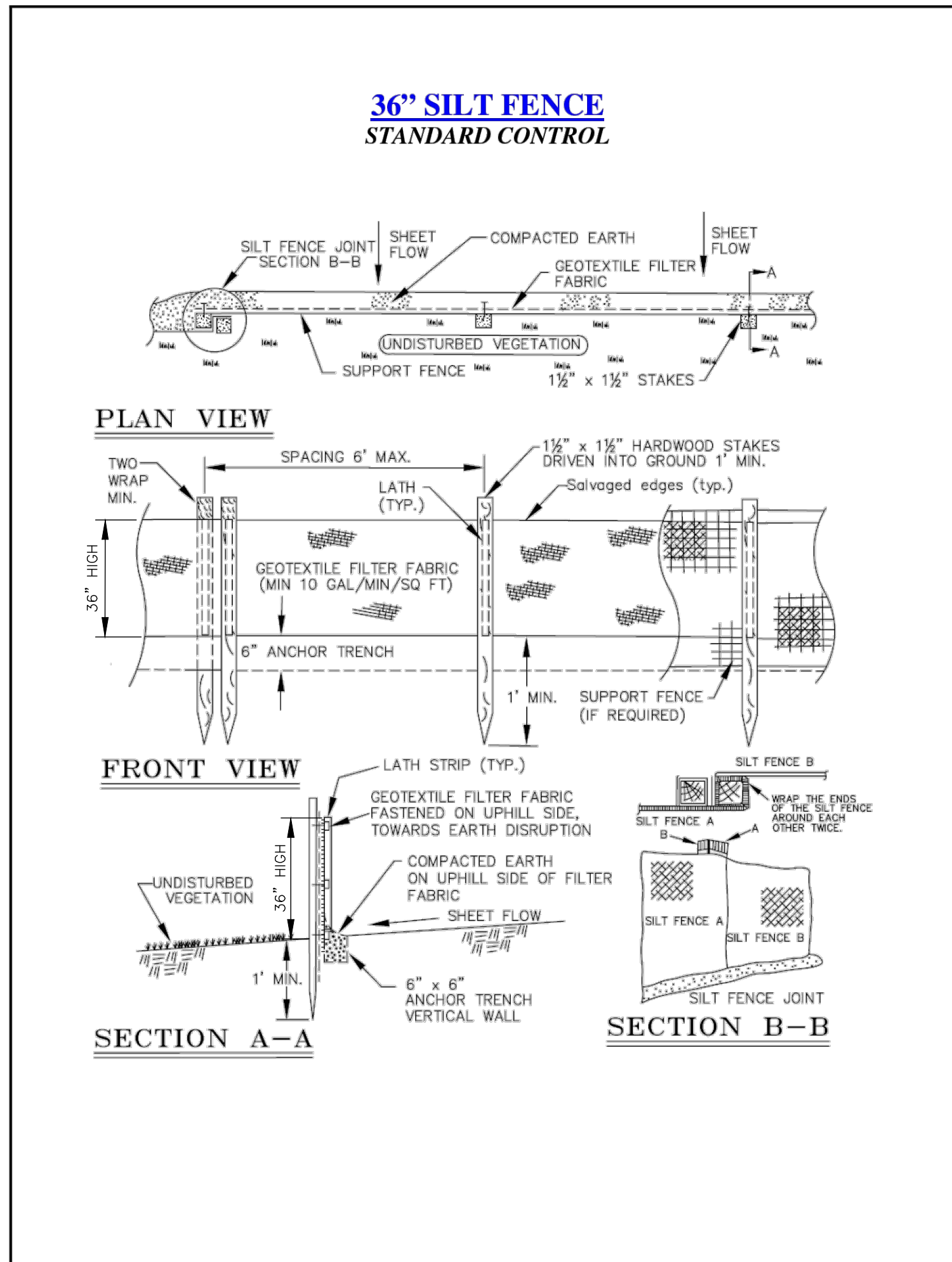
- It is required that each development have an ingress/egress of crushed stone to restrict tracking of material onto the Public Roadway. All commercial construction sites require a minimum 75-foot tracking mat shown at ingress/egress.

Stabilization Standards:

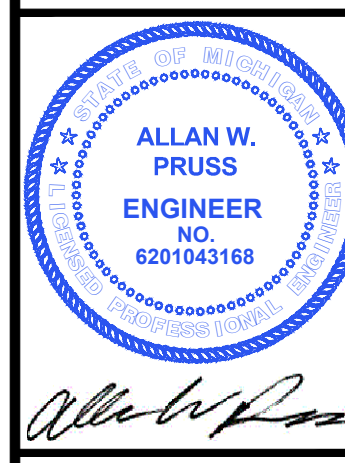
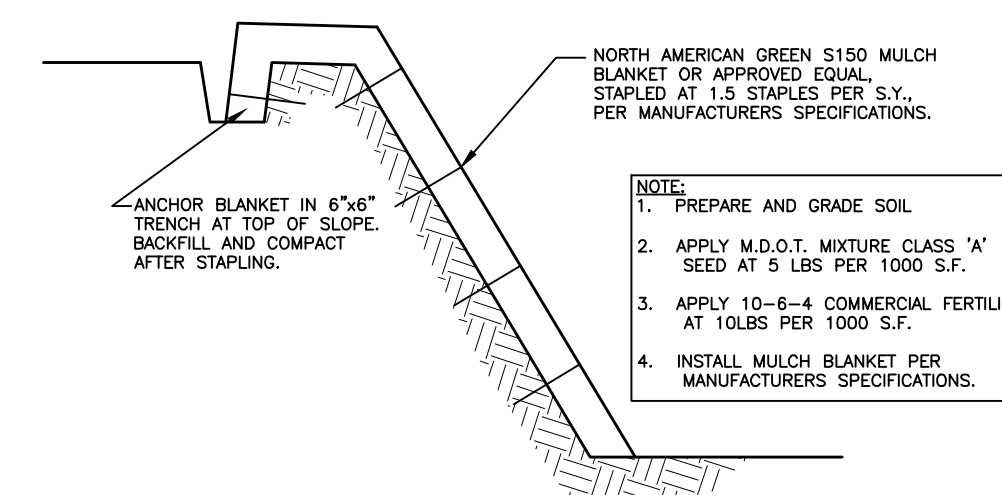
- For subdivision and site condominium developments: As of May 01, 2000, it is required that temporary stabilization of the entire site be completed and approval from the Livingston County Drain Commissioner's Office obtained prior to the issuance of single family dwelling permits.
- For commercial or industrial sites, common areas shall be called out on plans, in accordance with Part 17, prescribed by R 323.1709 and R 323.1710, pursuant to PART 91, Soil Erosion and Sedimentation Control, of the Natural Resources and Environmental Protection Act (Previously known as P.A. 347 of 1972) of Act 347, Public Acts OF 1972, as amended) indicating areas to be stabilized after 15 days of grade work. Areas to be outlined are as follows: detention/retention, drainage easements, utility easements, boulevards, etc.

Seeding, Fertilizer and Mulch Bare Ground Ratio:

- This information shall be detailed on the construction plans.
- Top Soil 3" in depth
- Grass Seed 217.84 lbs per acre
- Fertilizer 150 lbs per acre
- Straw Mulch 3" in depth (All mulching must have a tie down)
- Hydroseeding is not acceptable for slopes exceeding 1%, in such cases stabilization shall be done with seed and straw mulch with a tackifier.



EROSION CONTROL BLANKET DETAIL



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3800 CHILSON ROAD
HOWELL, MI 48843
POC: STEVE GRONOW
517-552-2489

LCDC SECC NOTES AND DETAILS

CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN

DATE	DESCRIPTION
5/28/2024	PRELIMINARY/FINAL SITE PLAN SUBMITTAL
5/30/2024	REVISED SITE PLAN SUBMISSION

ORIGINAL ISSUE DATE:
02/29/2024

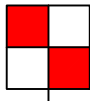
PROJECT NO: 22-286

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FIELD:
DRAWN BY: CD
DESIGN BY: BS
CHECK BY: AP

C-8.1

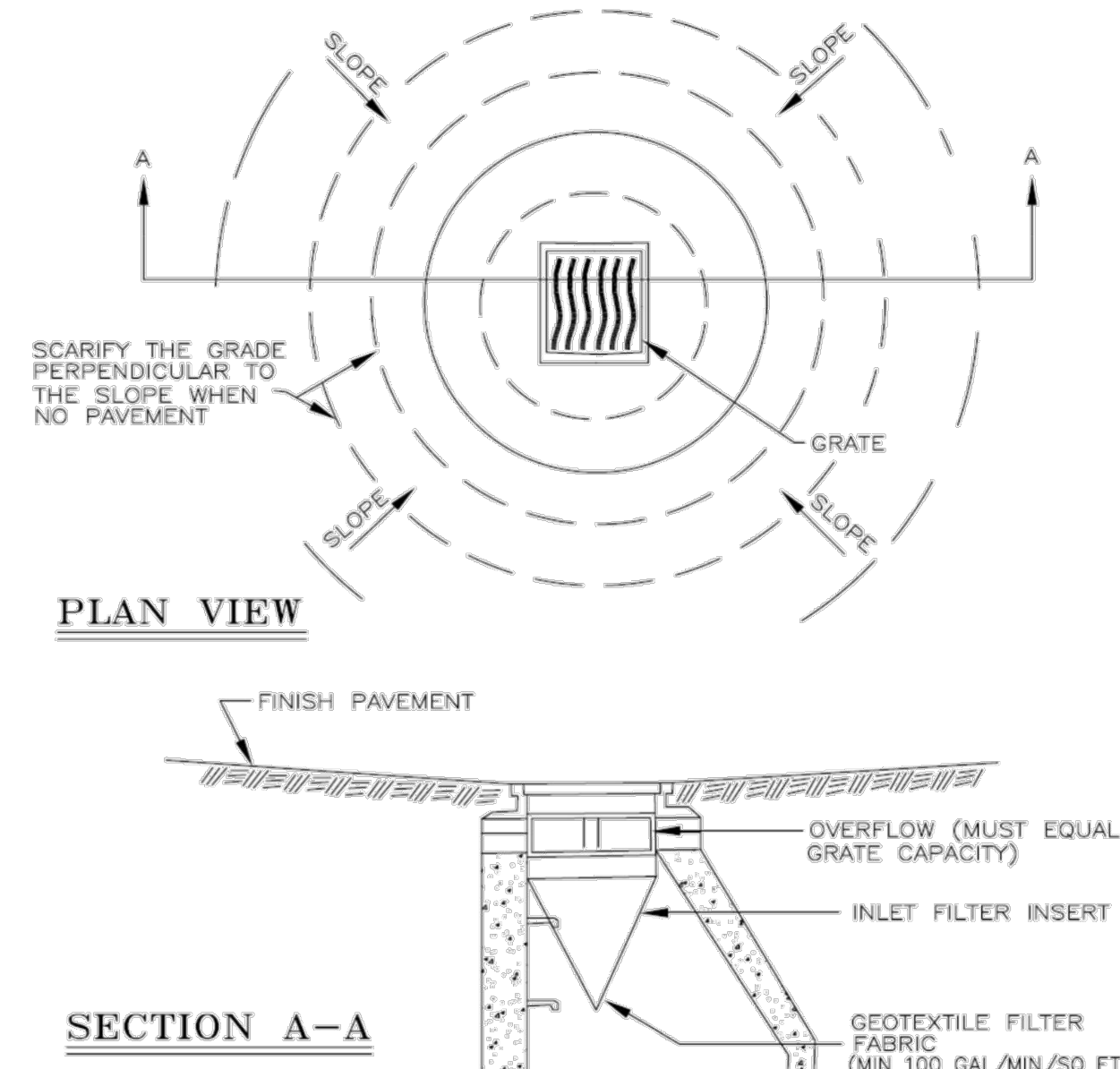
NOT FOR CONSTRUCTION



SILT SACK OR APPROVED EQUAL LOW POINT/YARD INLET FILTER

STANDARD CONTROL YEAR ROUND OR WINTER USE

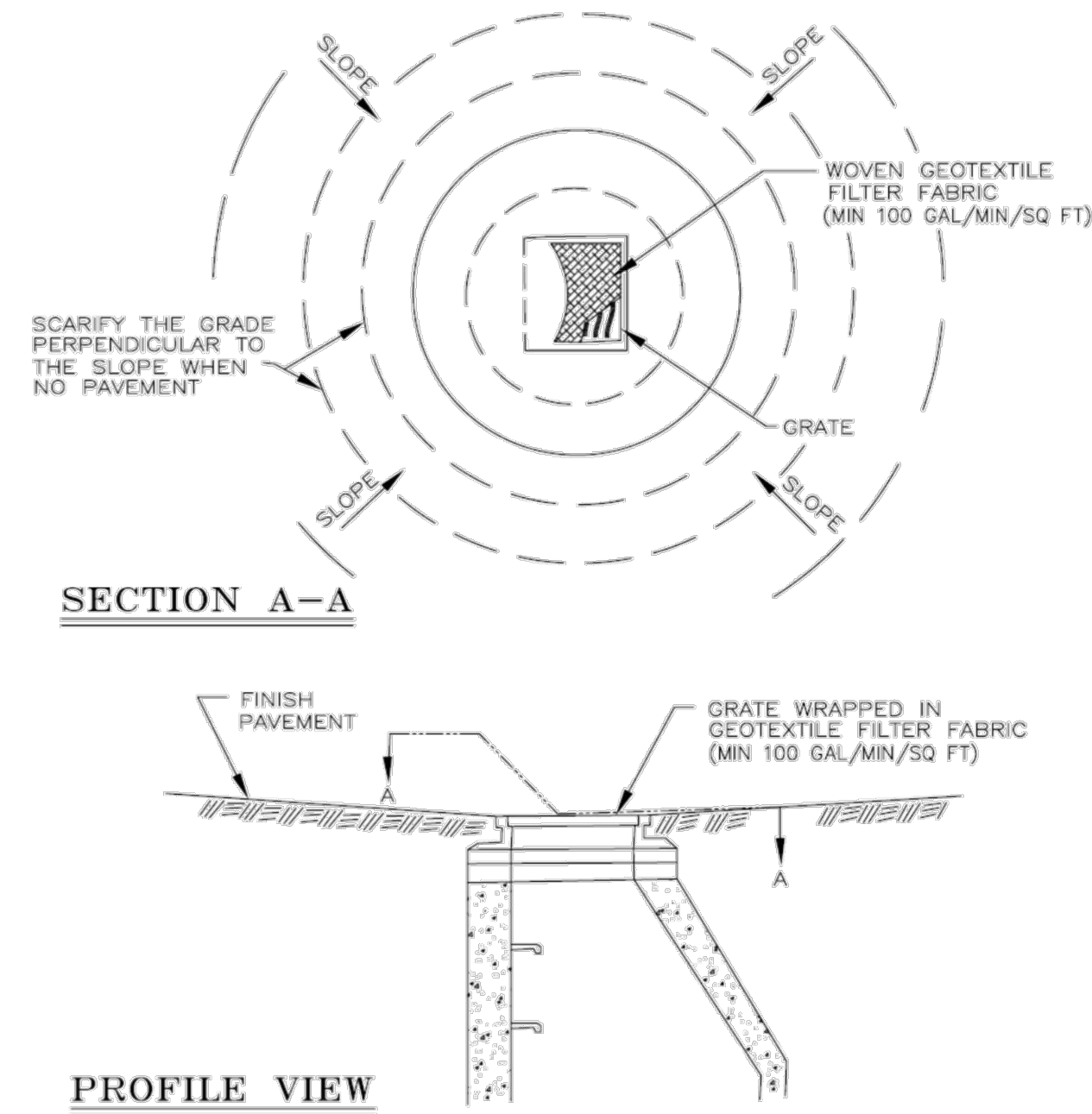
APPROVED FOR USE DURING WINTER MONTHS OR IN AREAS THAT MAY BECOME A SAFETY HAZARD DUE TO FLOODING OR FREEZING



GEOTEXTILE FABRIC LOW POINT/YARD INLET FILTER

STANDARD CONTROL NON-WINTER USE

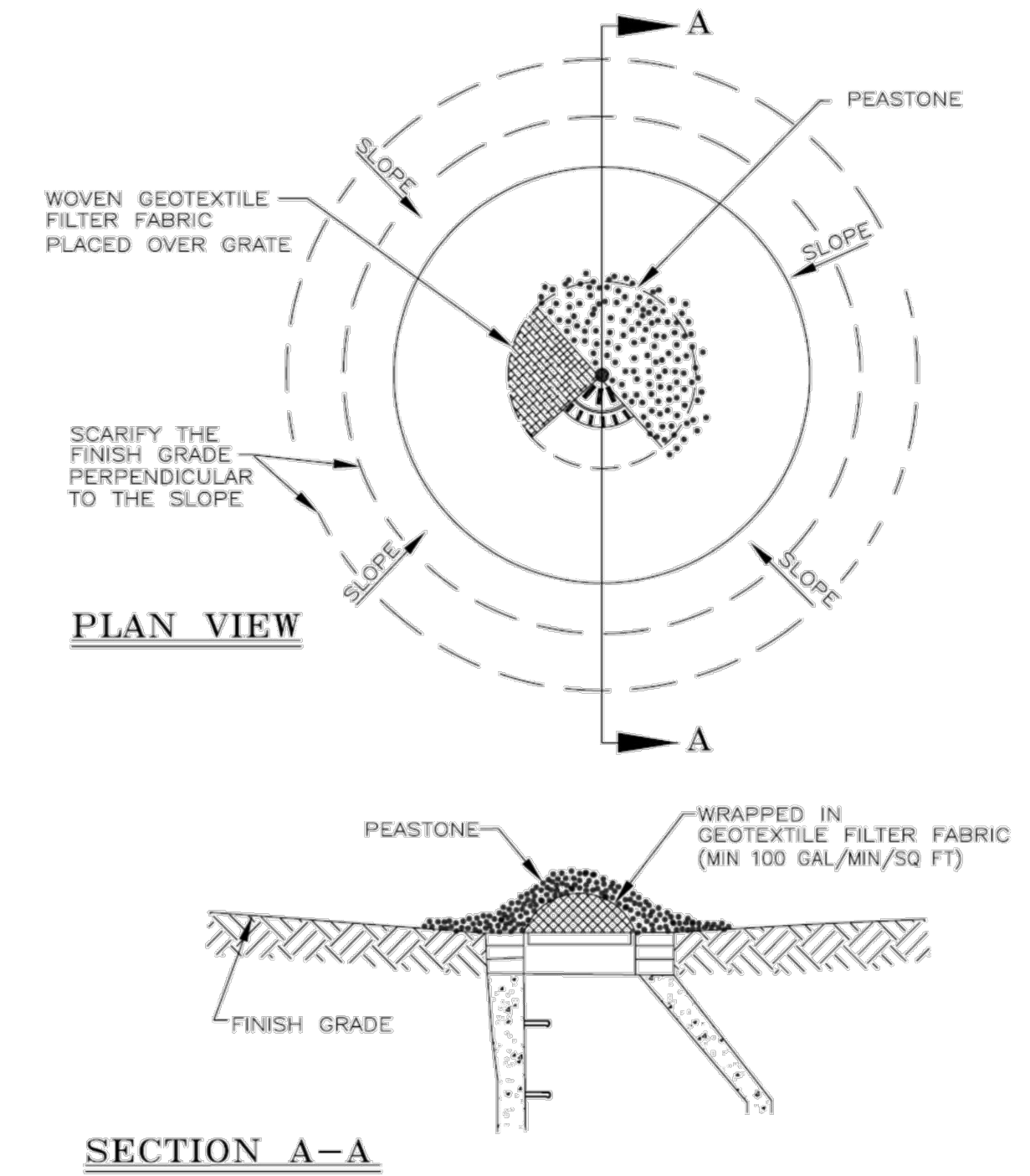
NOT FOR USE IN WINTER MONTHS OR IN AREAS THAT MAY BECOME A SAFETY HAZARD DUE TO FLOODING OR FREEZING



GEOTEXTILE & PEASTONE LOW POINT/YARD INLET FILTER

STANDARD CONTROL NON-WINTER USE

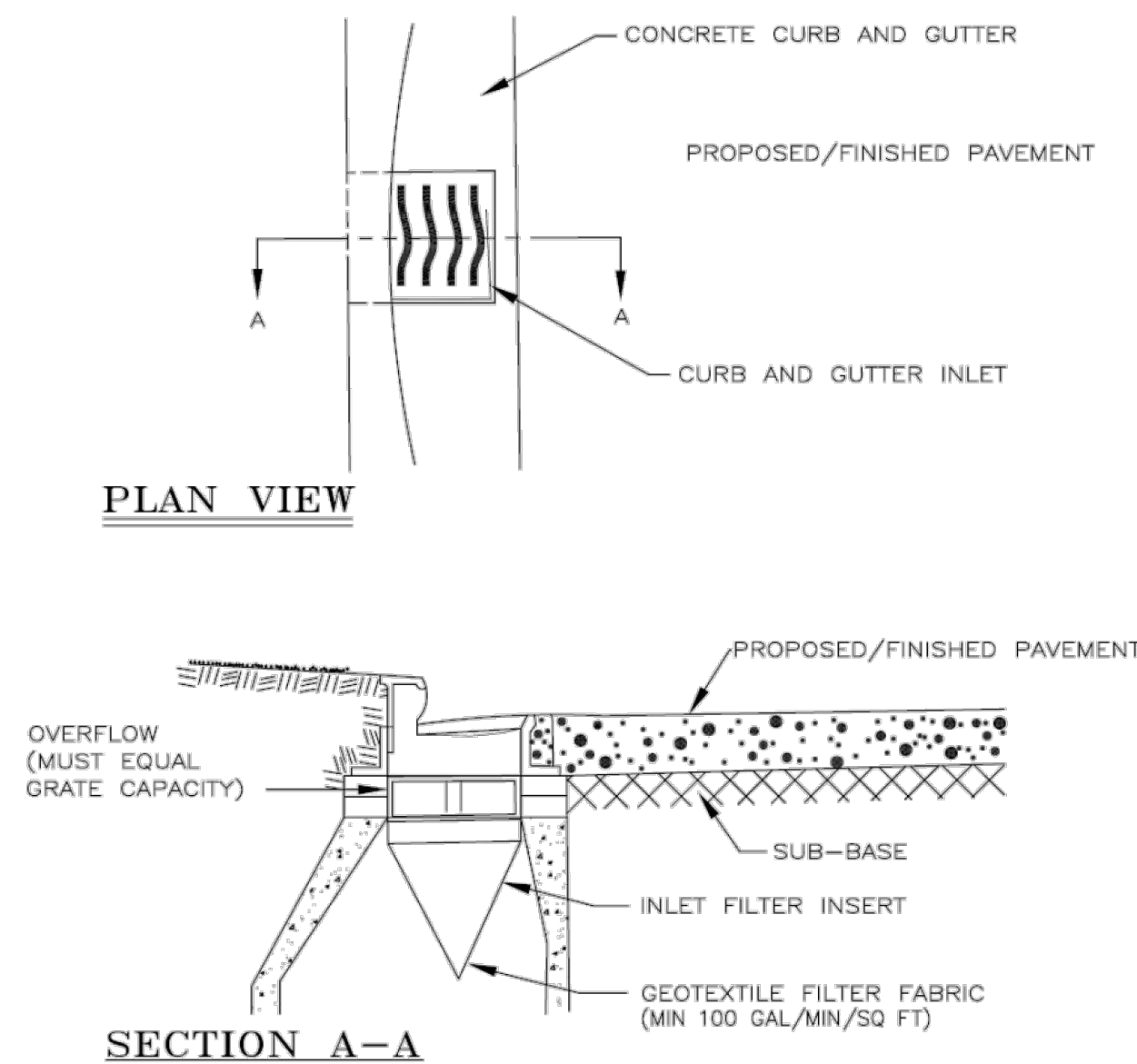
NOT FOR USE IN WINTER MONTHS OR IN AREAS THAT MAY BECOME A SAFETY HAZARD DUE TO FLOODING OR FREEZING



SILT SACK OR APPROVED EQUAL CURB AND GUTTER INLET FILTER

STANDARD CONTROL YEAR ROUND OR WINTER USE

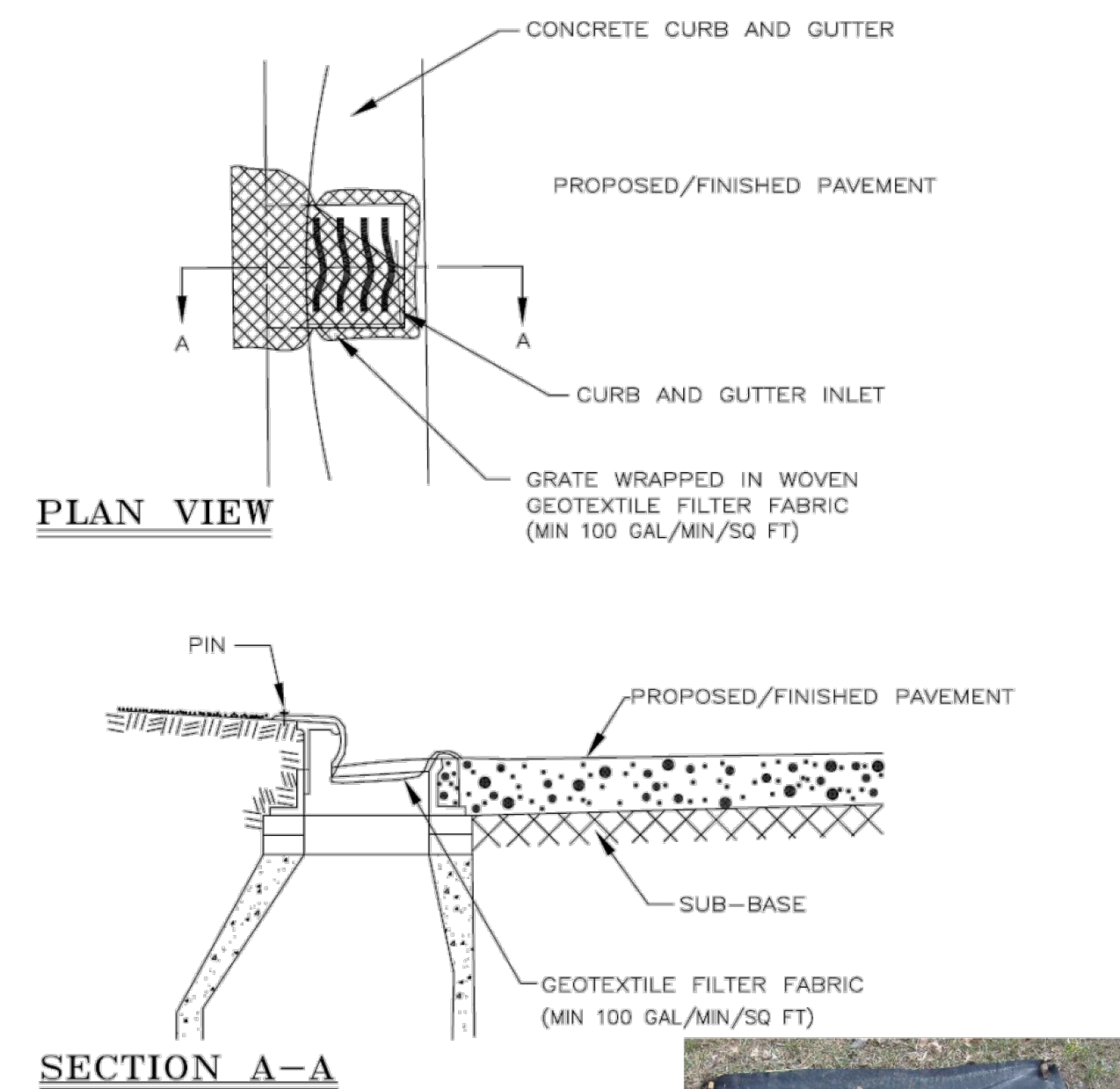
APPROVED FOR USE DURING WINTER MONTHS OR IN AREAS THAT MAY BECOME A SAFETY HAZARD DUE TO FLOODING OR FREEZING



GEOTEXTILE FABRIC CURB AND GUTTER INLET FILTER

STANDARD NON-WINTER USE

NOT FOR USE IN WINTER MONTHS OR IN AREAS THAT MAY BECOME A SAFETY HAZARD DUE TO FLOODING OR FREEZING



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CLIENT :

CHESTNUT DEVELOPMENT, LLC

3800 CHILSON ROAD
HOWELL, MI 48843

POC: STEVE GRONOW
517-552-2489

LCDC SESC DETAILS

CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN

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5/30/2024	REVISED SITE PLAN SUBMISSION

ORIGINAL ISSUE DATE:
02/29/2024

PROJECT NO: 22-286

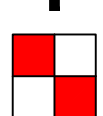
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FIELD:
DRAWN BY: CD
DESIGN BY: BS
CHECK BY: AP

C-8.2

NOT FOR CONSTRUCTION

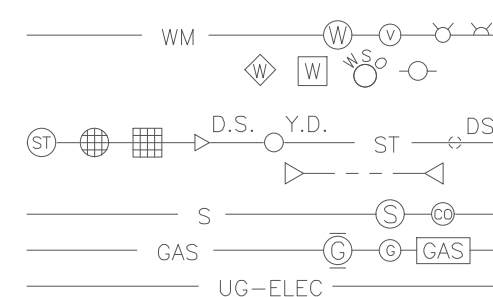
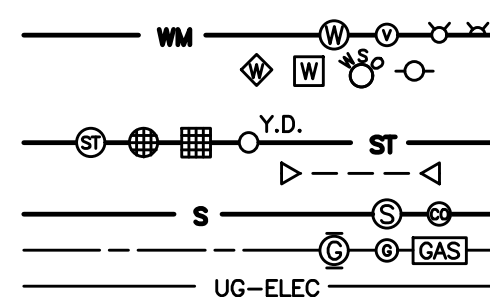




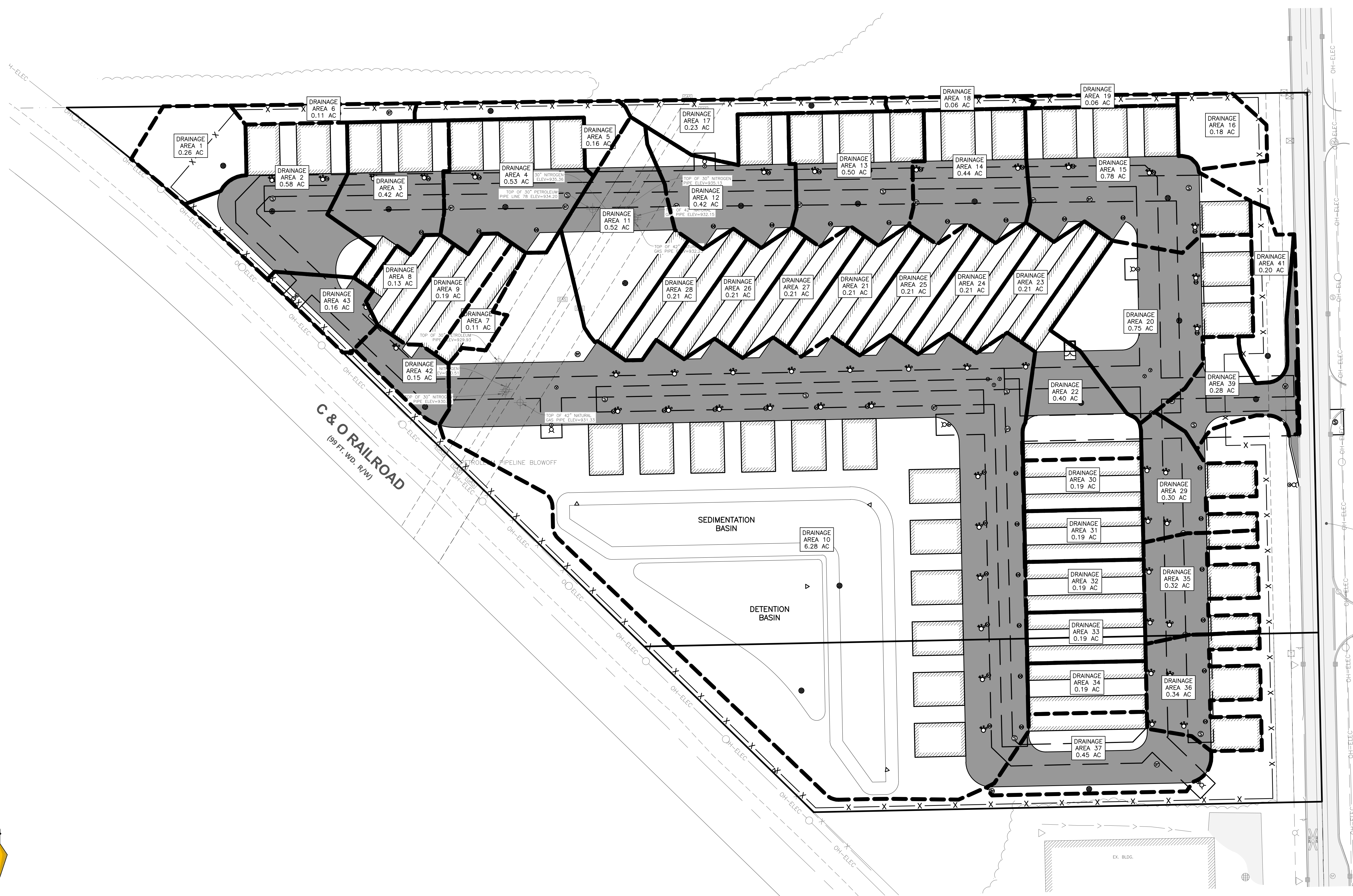
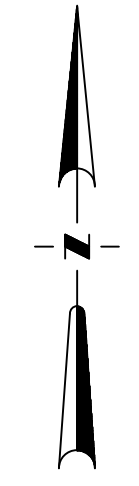
UTILITY LEGEND

PROPOSED

EXISTING



WATER MAIN, MH, VALVE IN BOX, HYDRANT
WATER WELL, METER, STOP BOX, POST INDICATOR VALVE
STORM SEWER, MH, CB, INLET, DOWN SPOUT, YARD DRAIN
CULVERT/ END SECTION
SANITARY SEWER, MH, CLEAN OUT
UG GAS, MH, VALVE, LINE MARKER
UG ELEC (ELEC, CABLE, FIBER)



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ALLAN W. PRUSS
ENGINEER
NO. 6201043168
Allan W. Pruss

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CLIENT :
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3800 CHILSON ROAD
HOWELL, MI 48843
POC: STEVE GRONOW
517-552-2489

DRAINAGE AREA PLAN
CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN

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REVISED SITE PLAN SUBMISSION	5/30/2024

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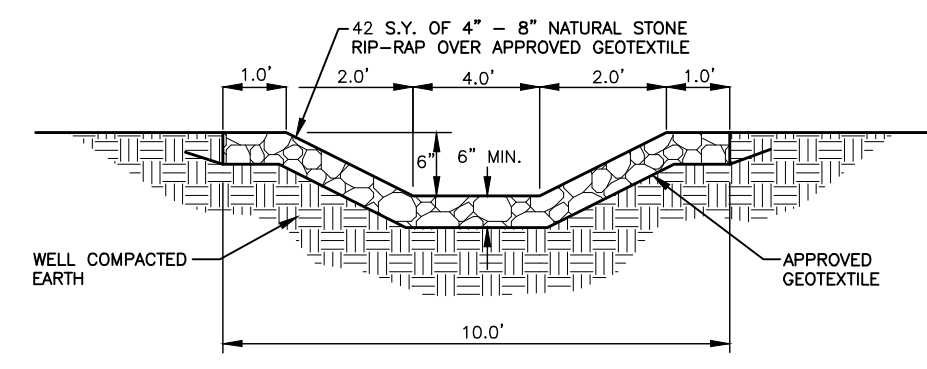
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FIELD:
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DESIGN BY: BS
CHECK BY: AP

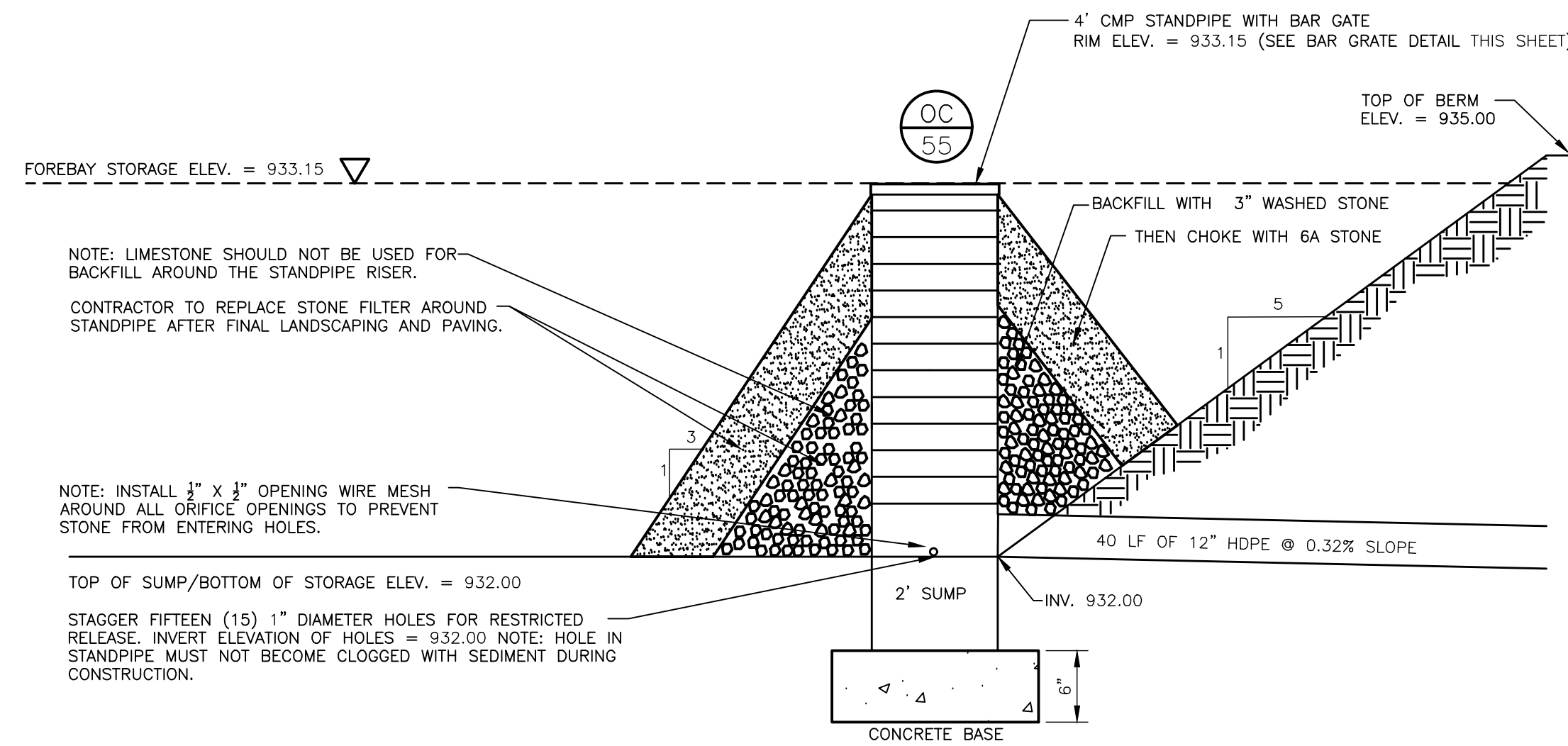
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NOT FOR CONSTRUCTION

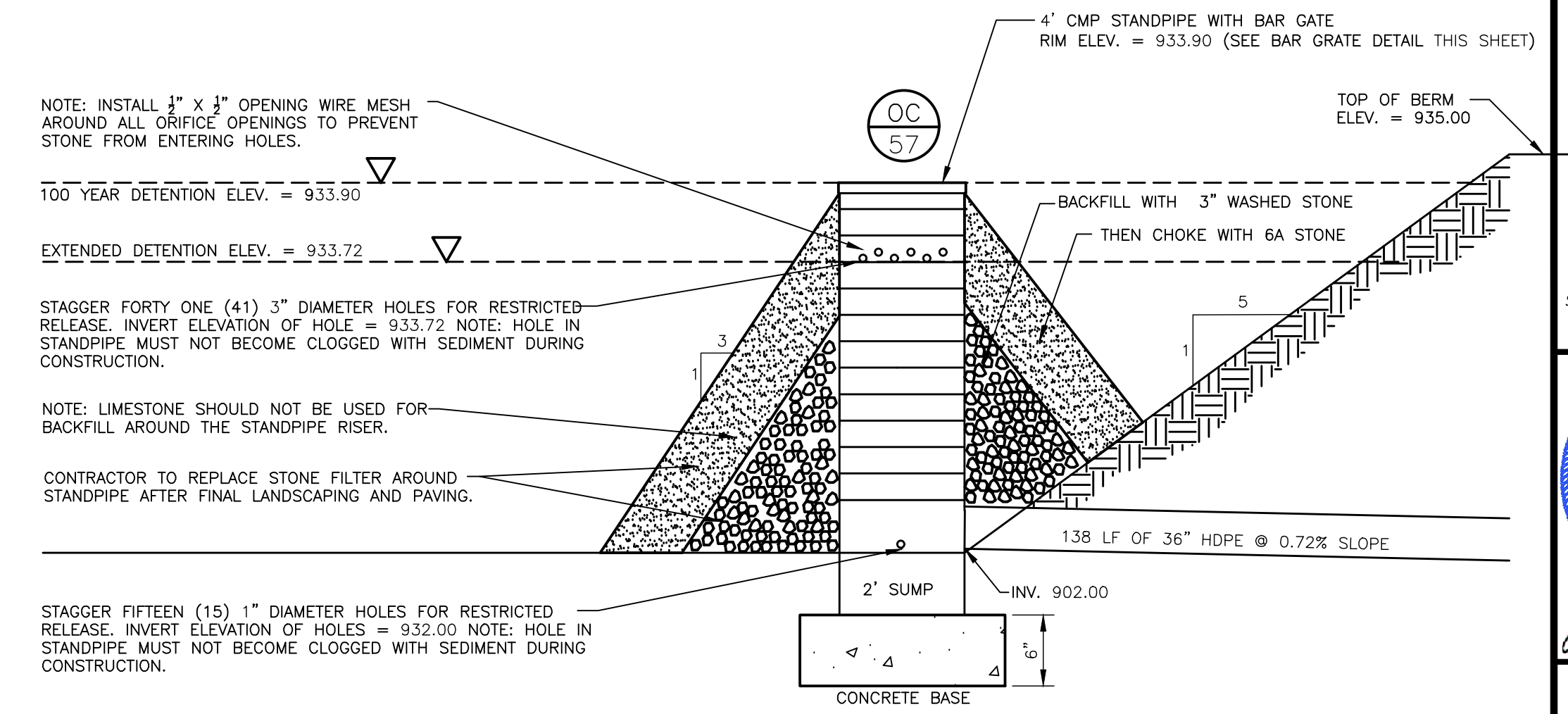
SPILLWAY DETAIL - OVERFLOW - RIP RAP



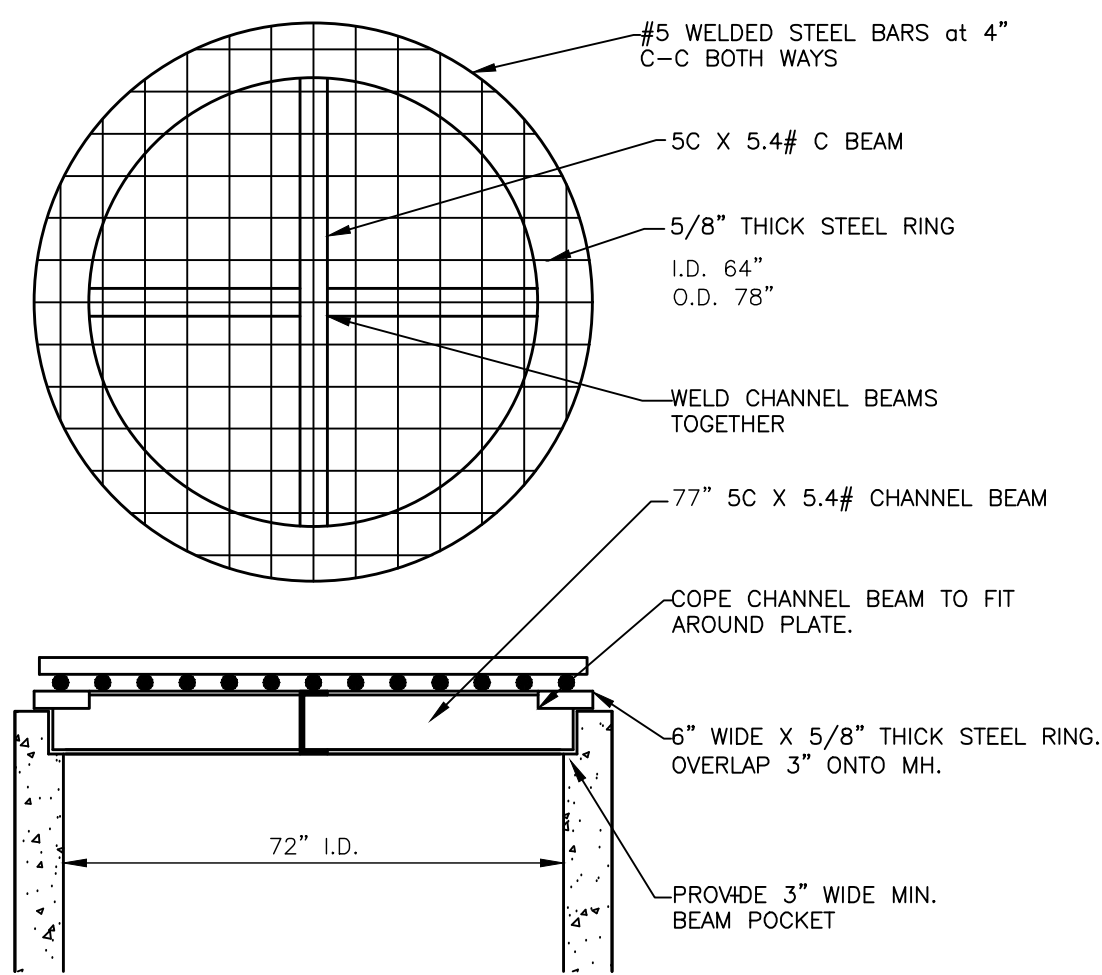
FOREBAY OUTLET CONTROL STRUCTURE DETAIL



DETENTION BASIN OUTLET CONTROL STRUCTURE DETAIL

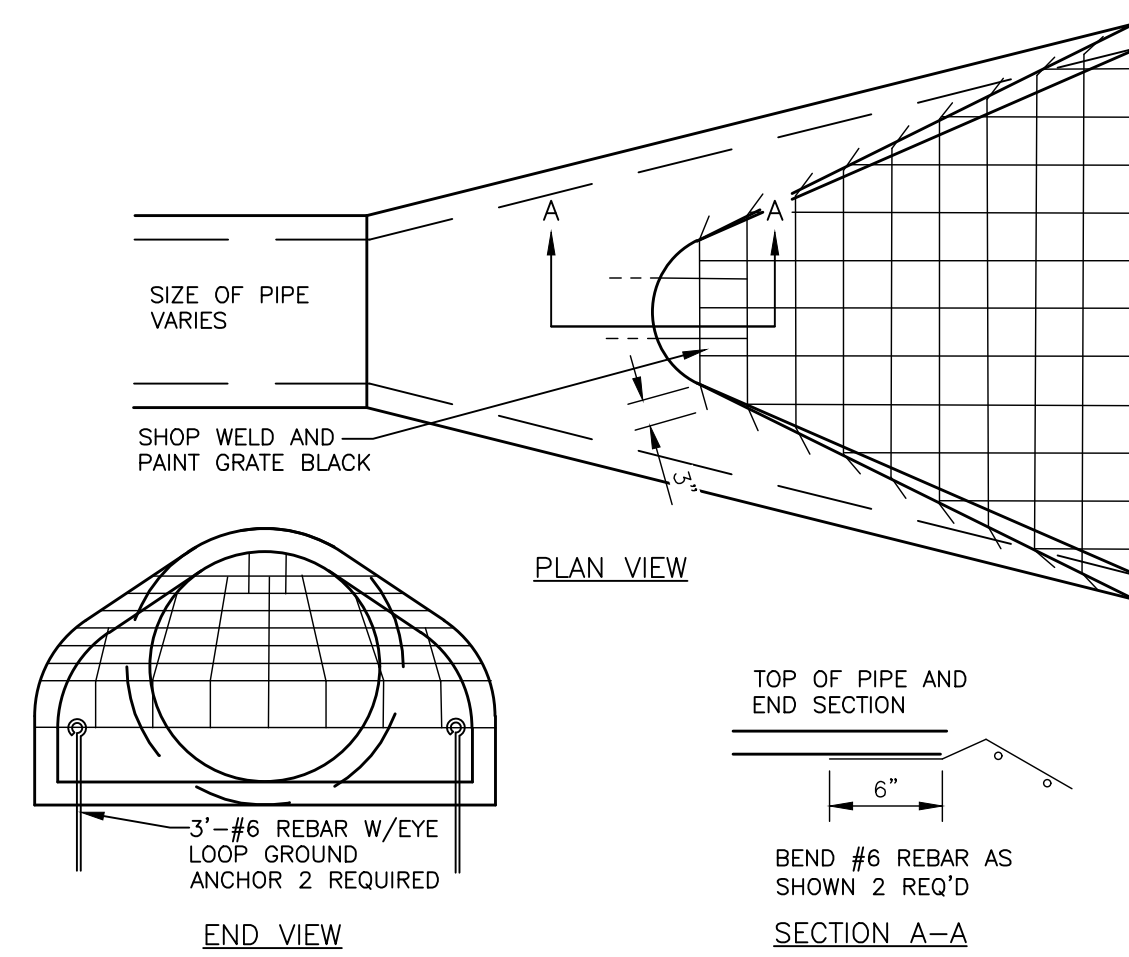


BAR GRATE DETAIL - FOR OVERFLOW STRUCTURE



- NOTES:
1. A MINIMUM OF 1/4" WELDS REQUIRED.
 2. AFTER ASSEMBLY, HOT DIP TO GALVANIZE GRATE AND WELDS.
 3. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO CONSTRUCTION.

END SECTION DETAIL - WITH BAR GRATE



- NOTES:
1. TO BE INSTALLED ON ALL END SECTIONS 15" AND LARGER.
 2. #6 REBAR @ 6" O.C. BOTH WAYS, WELDED EXTEND 3" (BOTH SIDES) BEYOND OPENING AND BEND TO FIT SIDES.

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POC: STEVE GRONOW
517-552-2489

DETENTION BASIN DETAILS

CHESTNUT SELF STORAGE
TAX ID# 06-29-200-029
PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN

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REVISED SITE PLAN SUBMISSION	5/30/2024

ORIGINAL ISSUE DATE:
02/29/2024

PROJECT NO: 22-286

SCALE: 1" = 60'

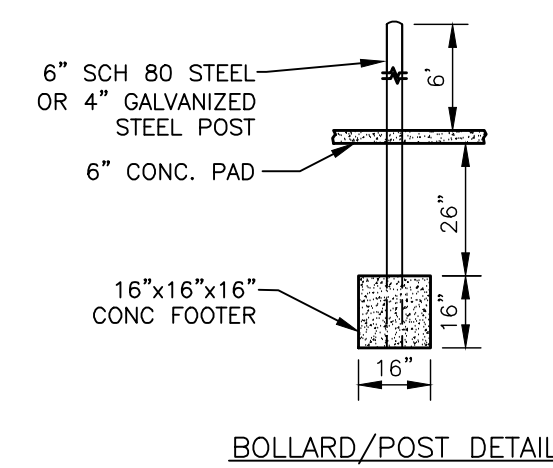
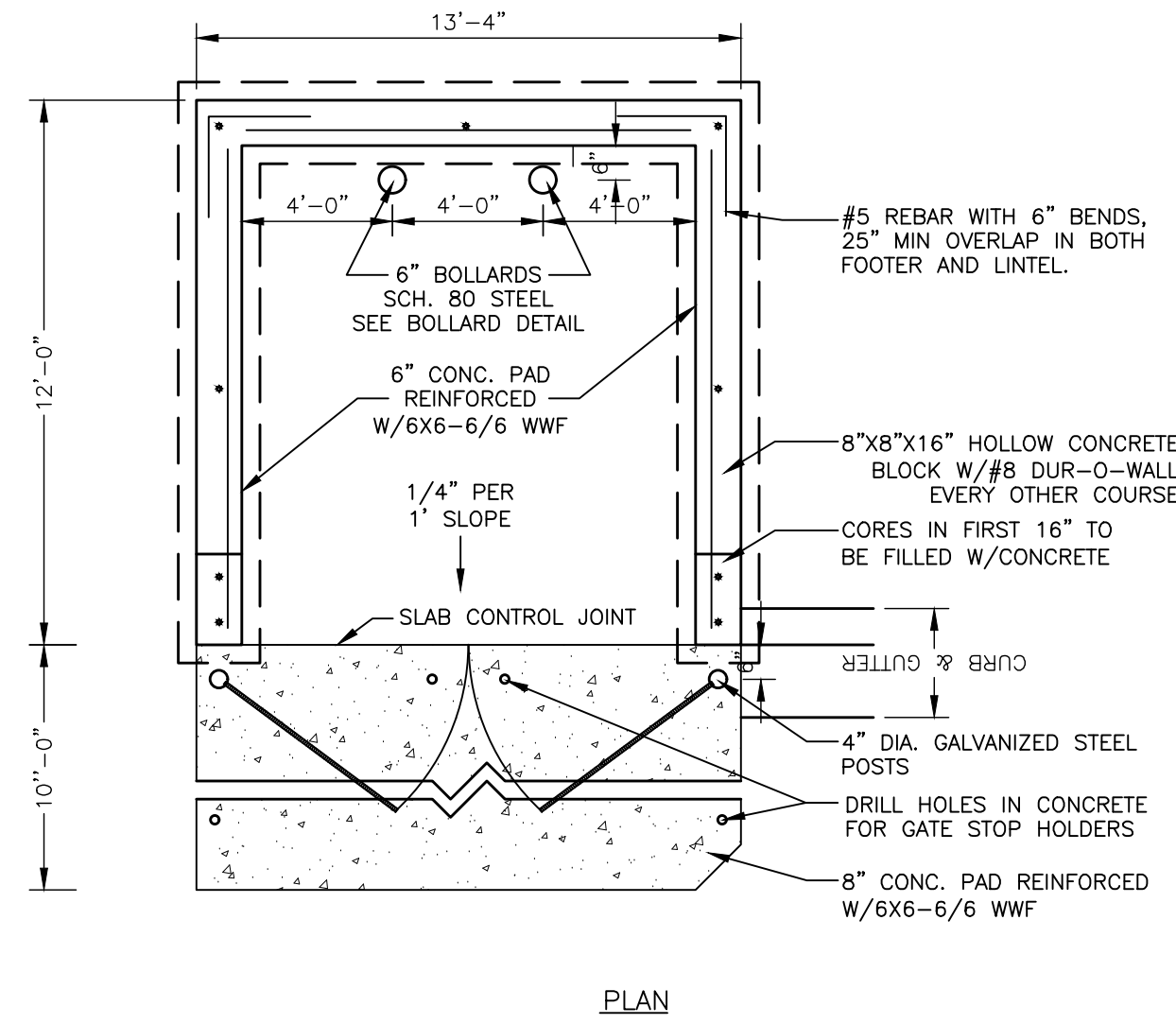
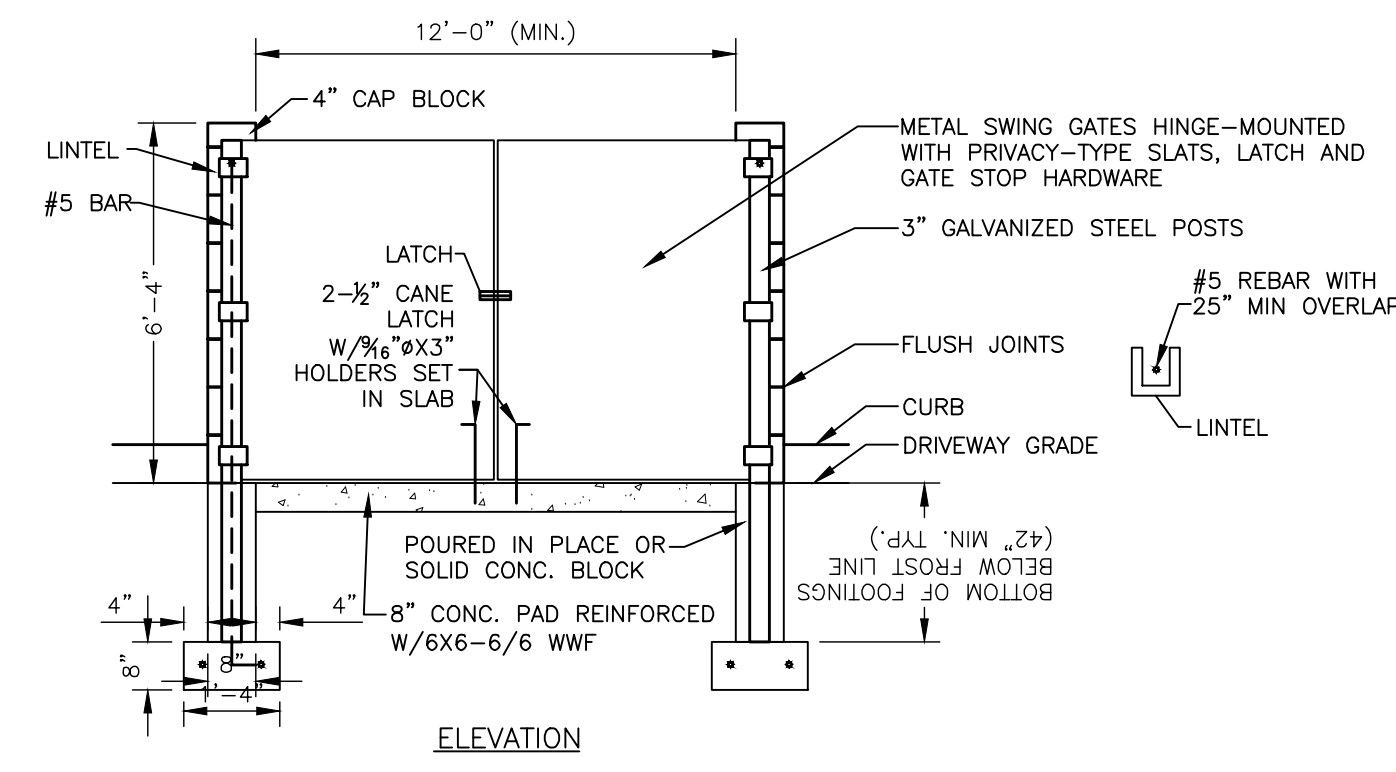
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FIELD:
DRAWN BY: CD
DESIGN BY: BS
CHECK BY: AP

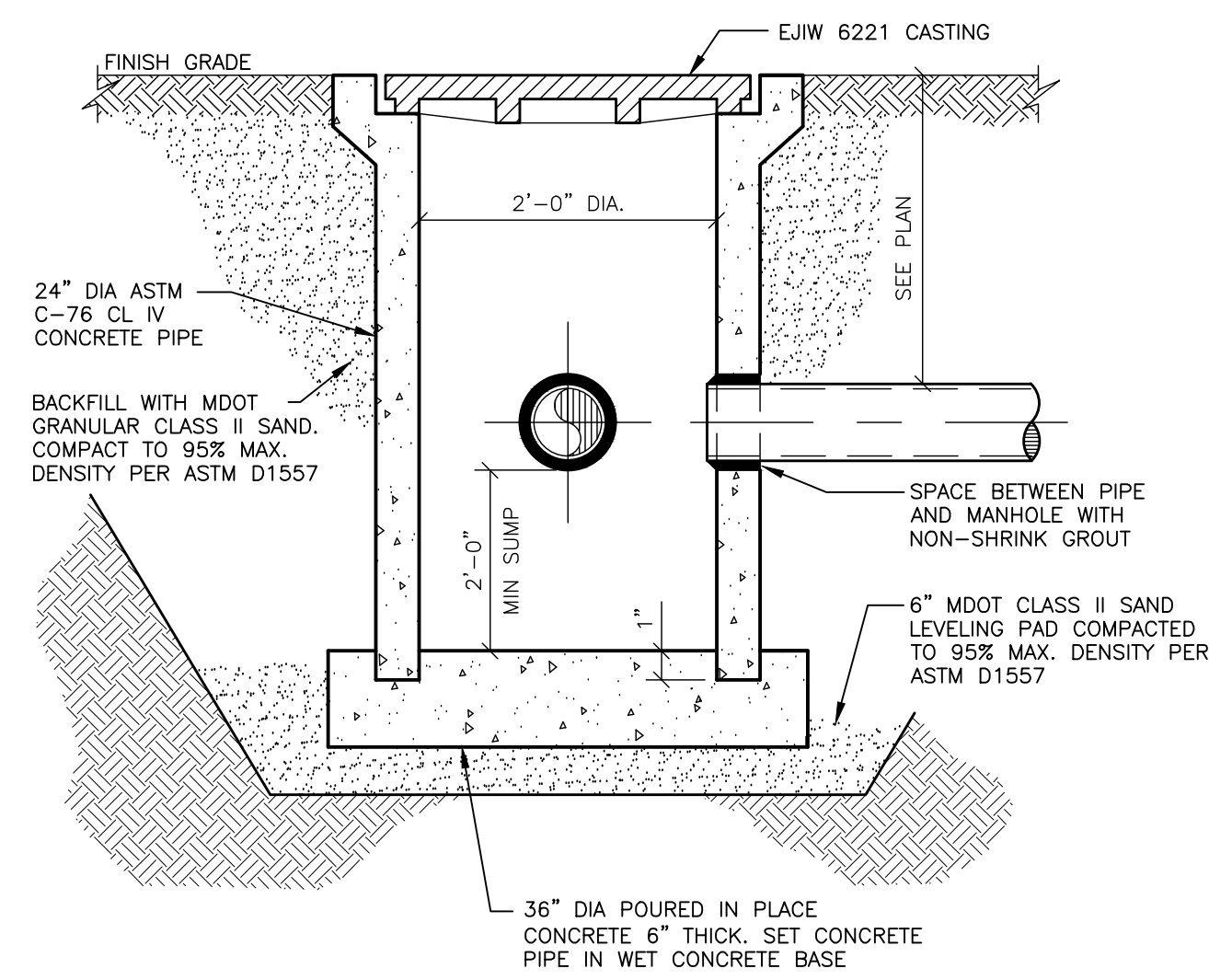
C-9.2

NOT FOR CONSTRUCTION

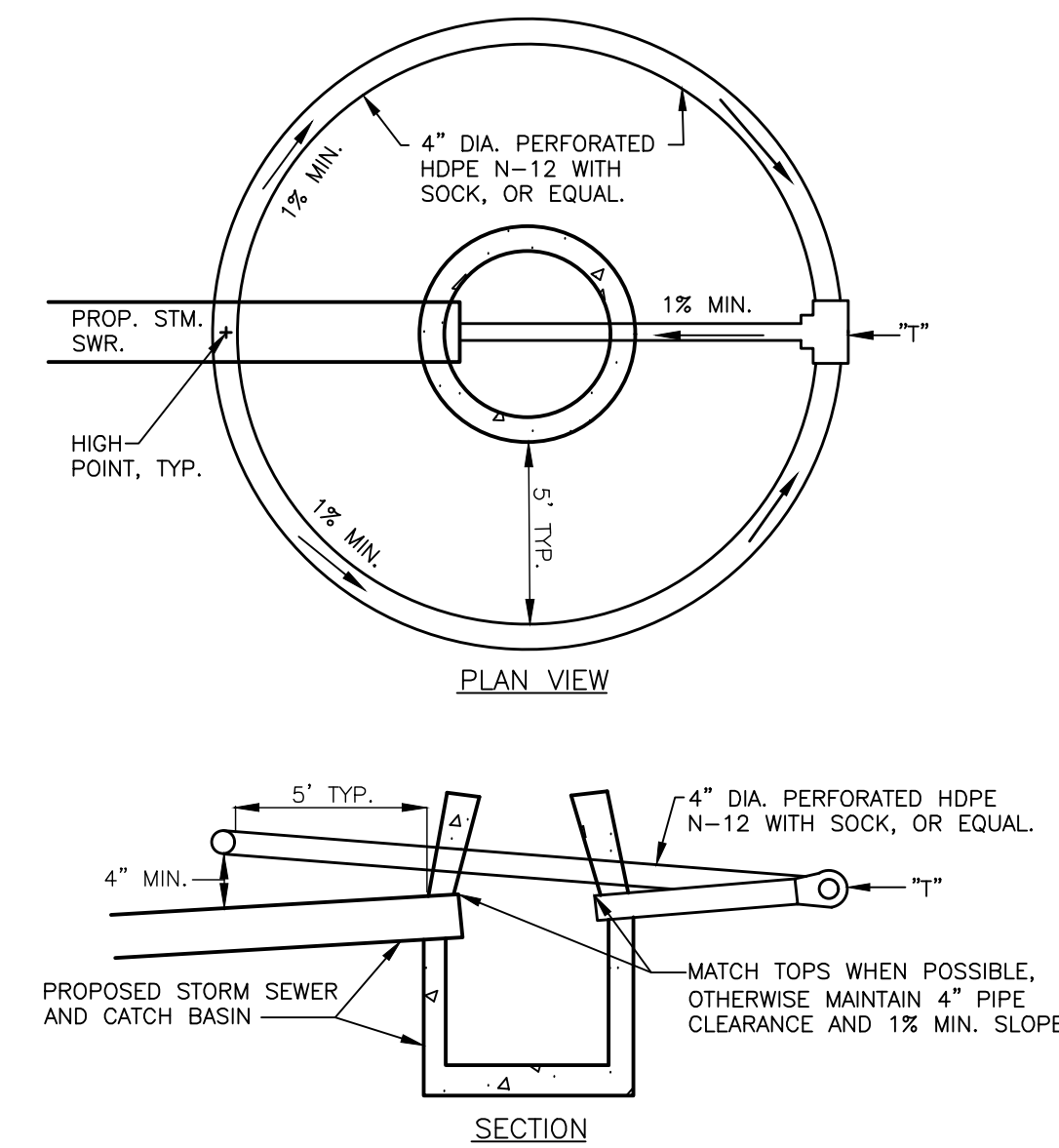
DUMPSTER ENCLOSURE DETAIL - CONCRETE WALL - SINGLE



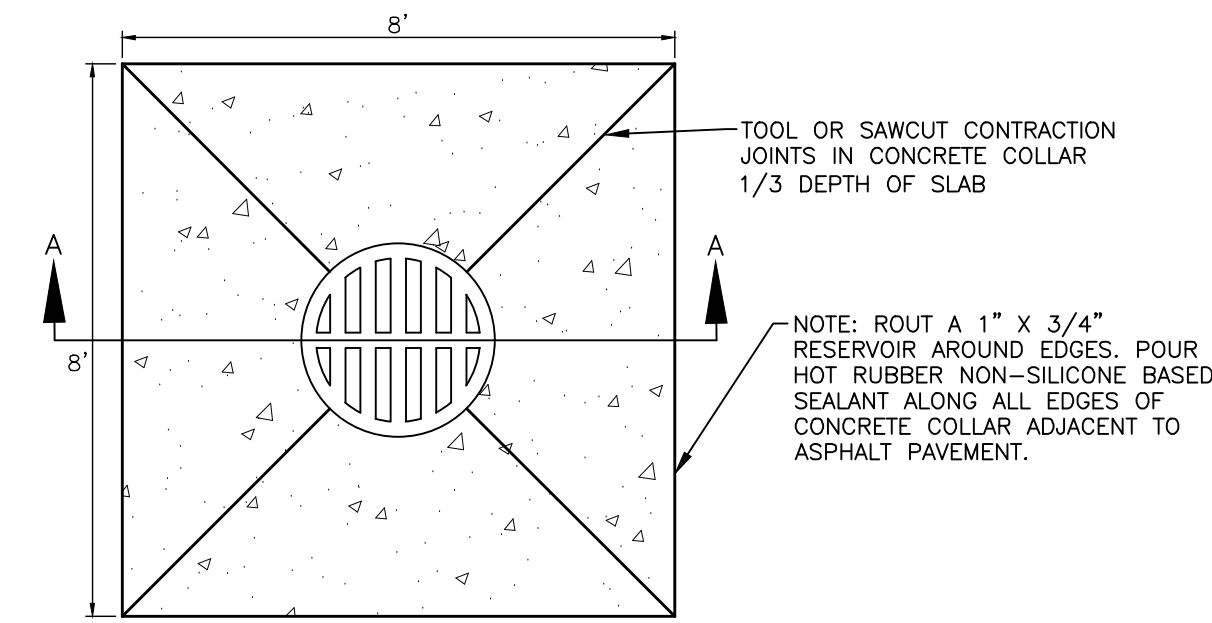
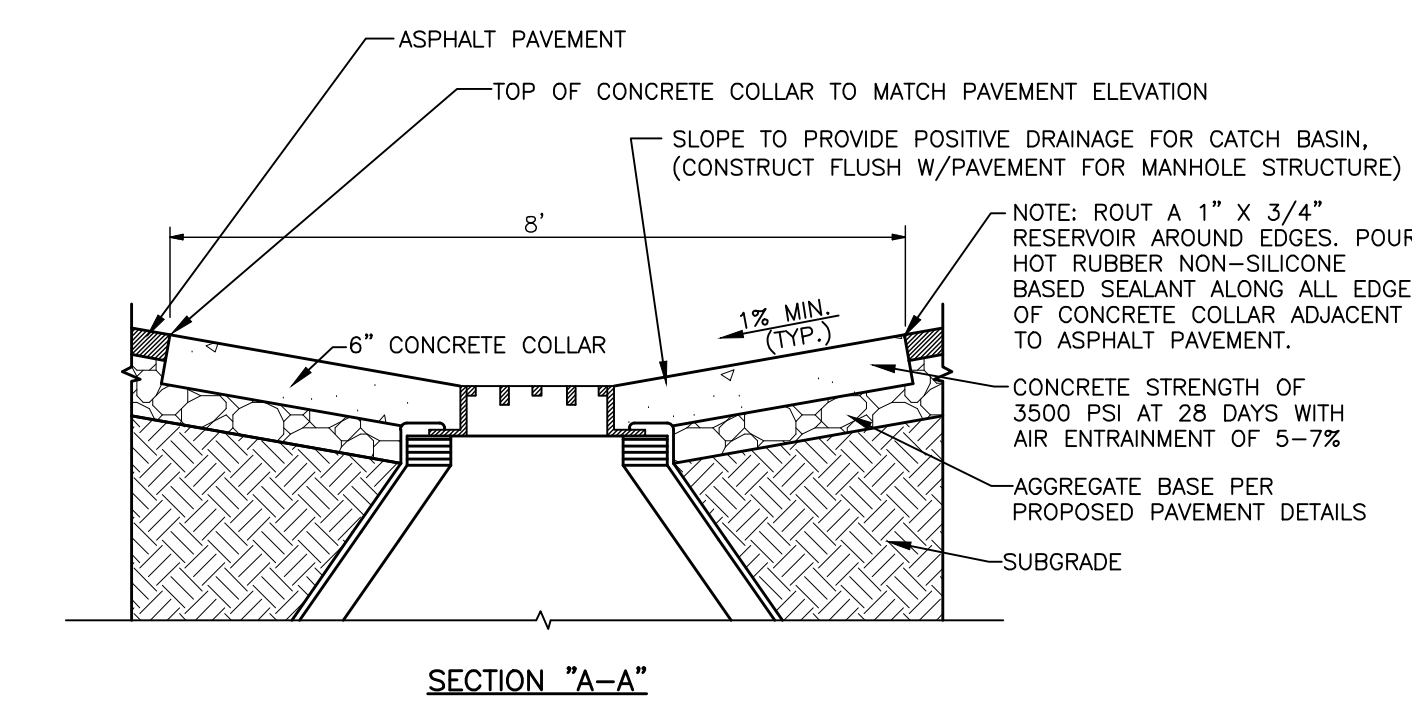
YARD BASIN DETAIL (2' DIA.)



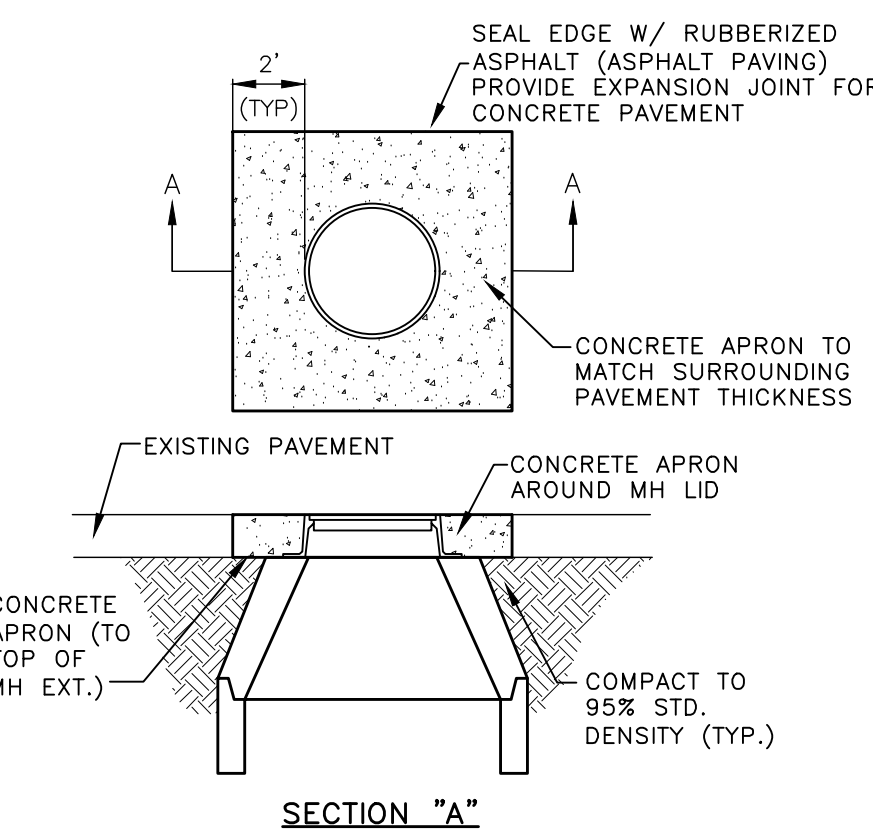
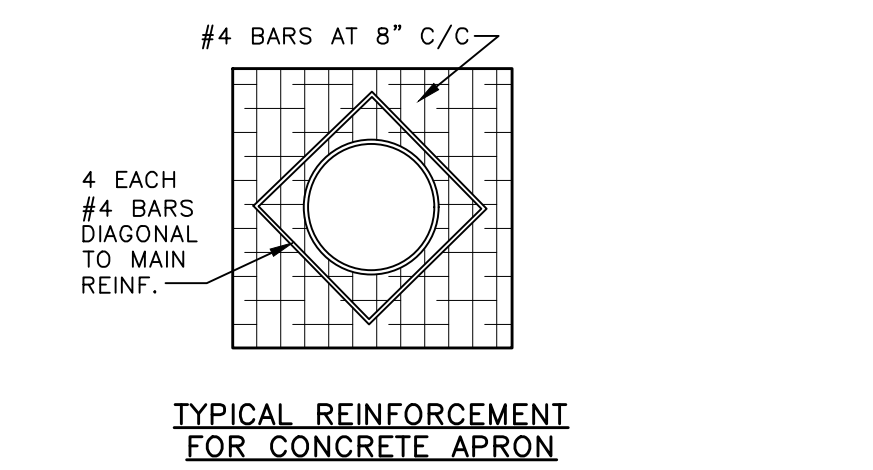
UNDERDRAIN DETAIL - RADIAL



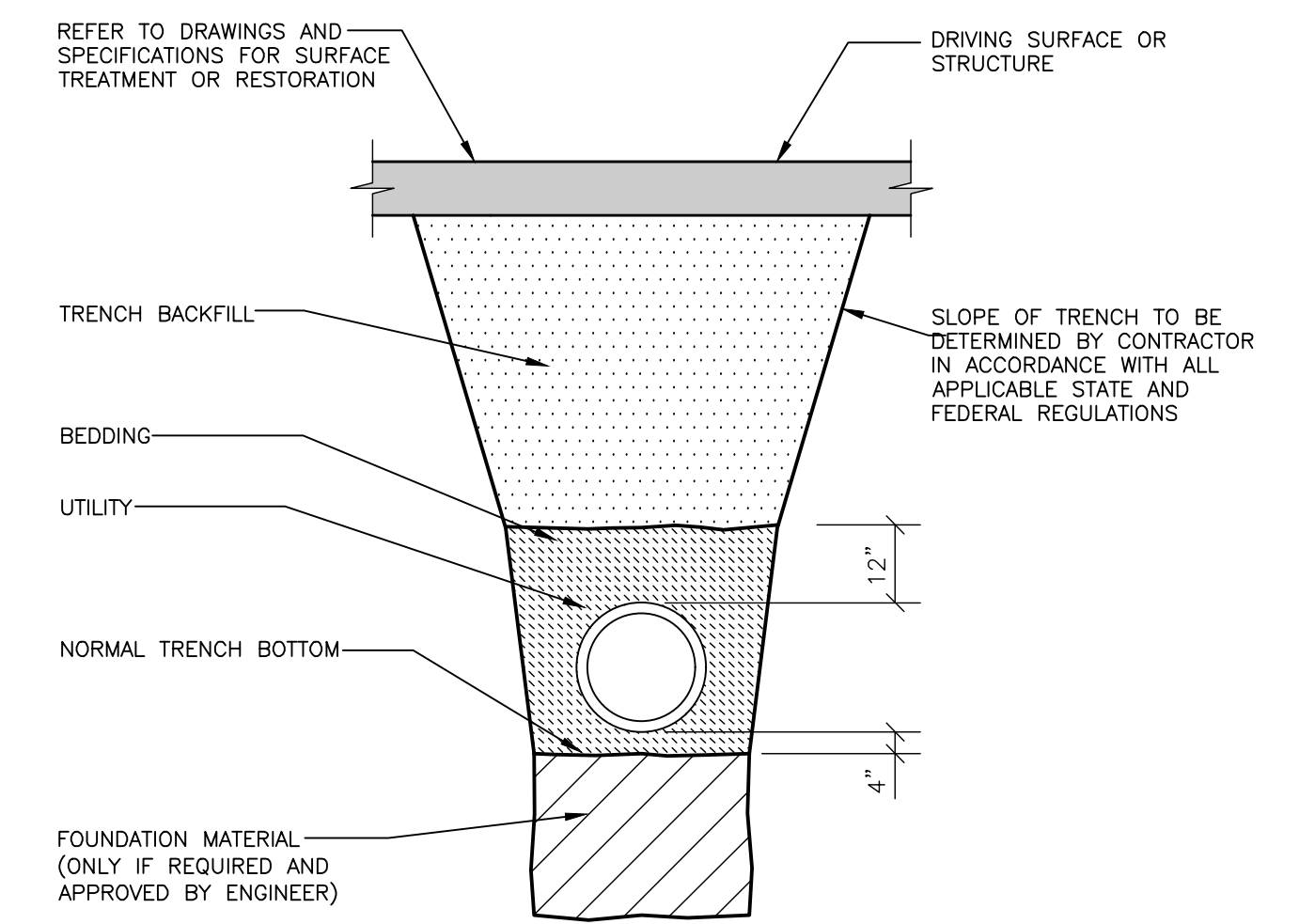
APRON DETAIL - CONCRETE AROUND CATCH BASIN



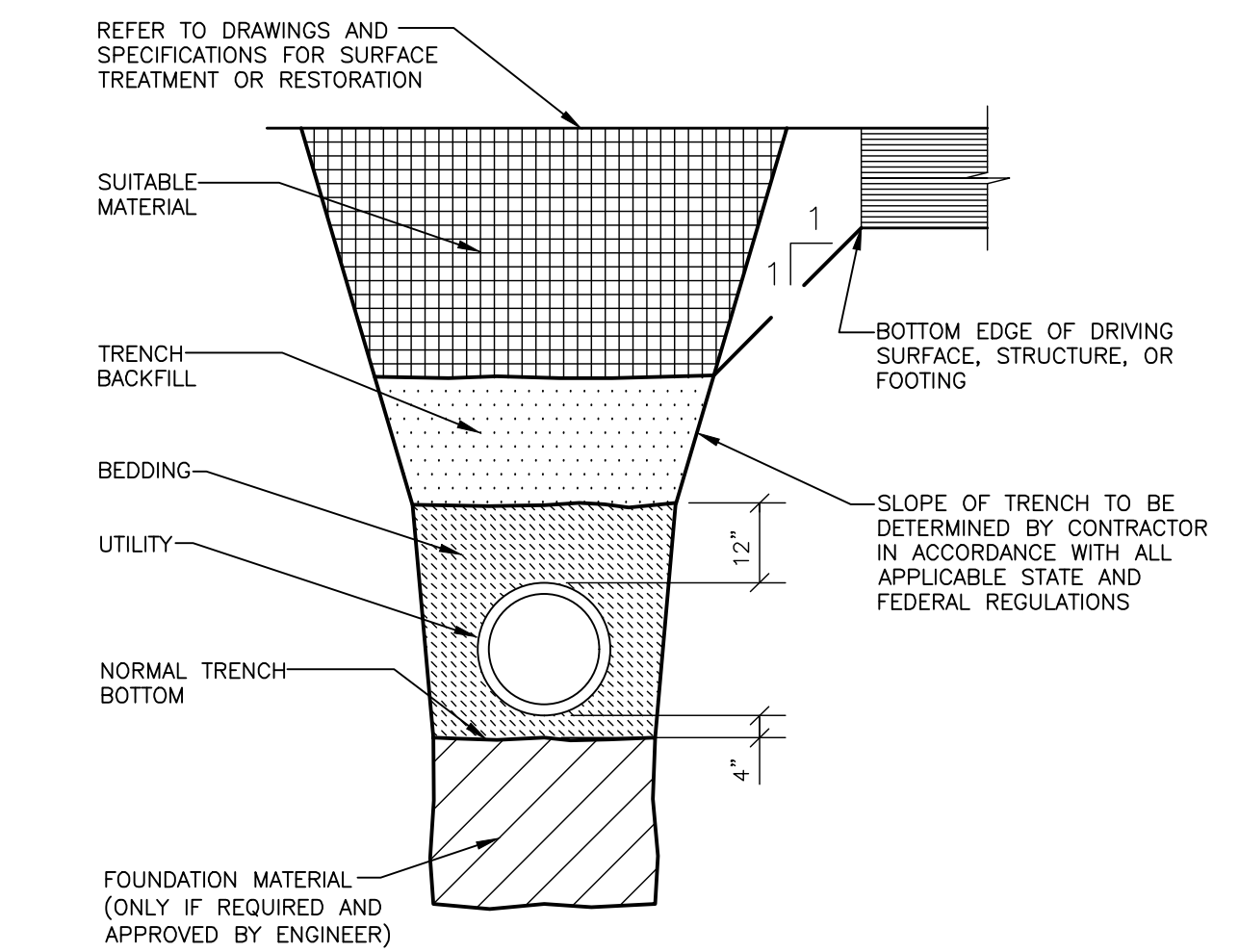
APRON DETAIL - CONCRETE AROUND MANHOLE



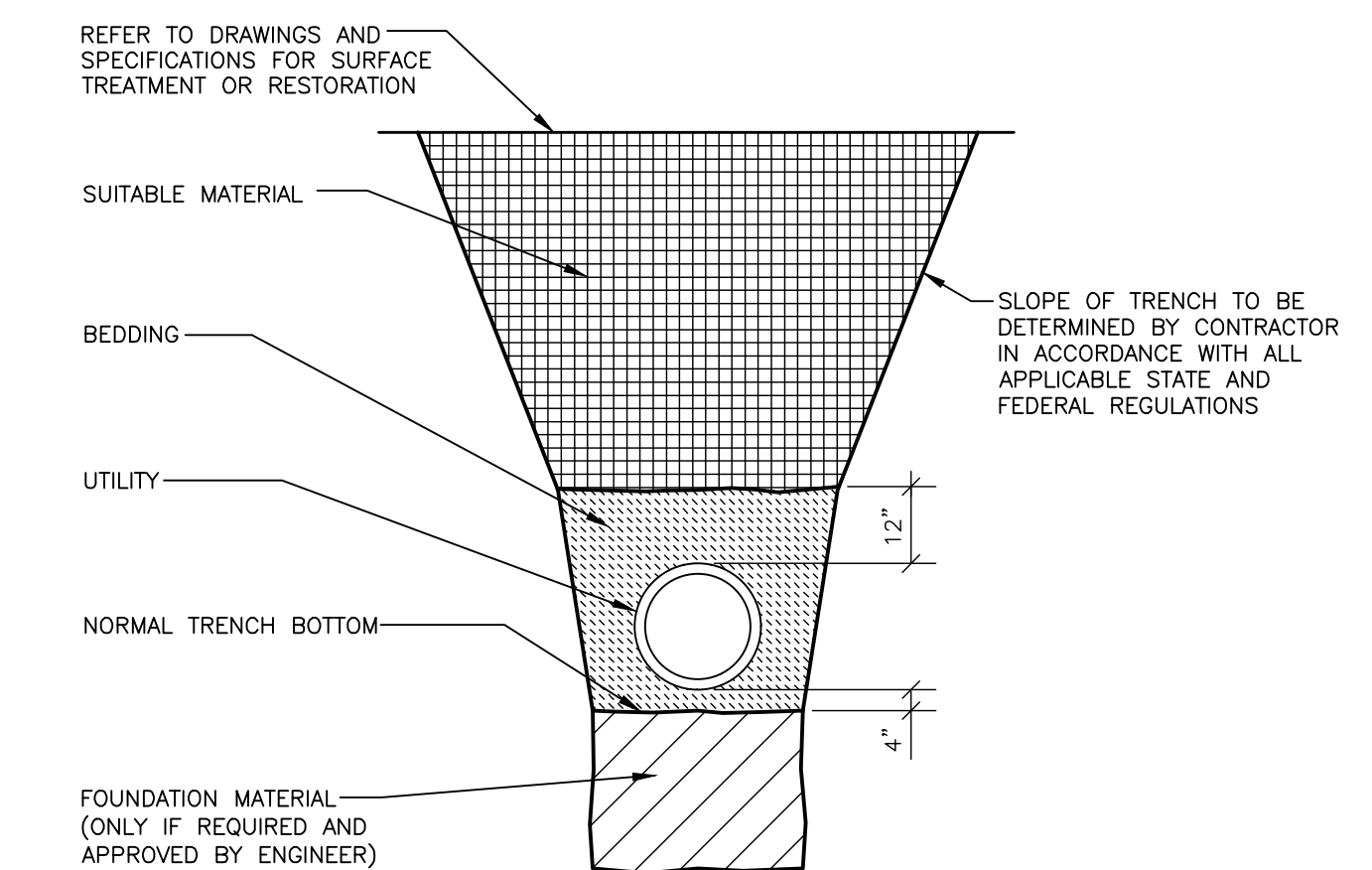
TRENCH DETAIL - BELOW DRIVING SURFACE OR STRUCTURE



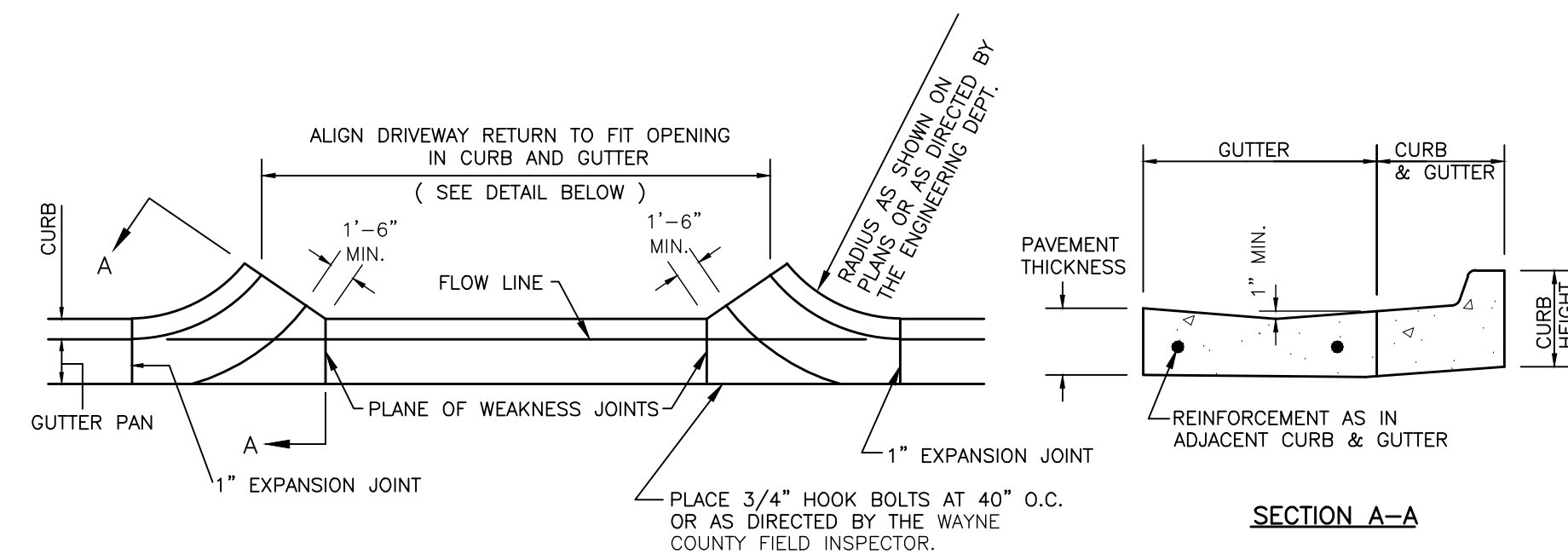
TRENCH DETAIL - ADJACENT TO DRIVING SURFACE OR STRUCTURE



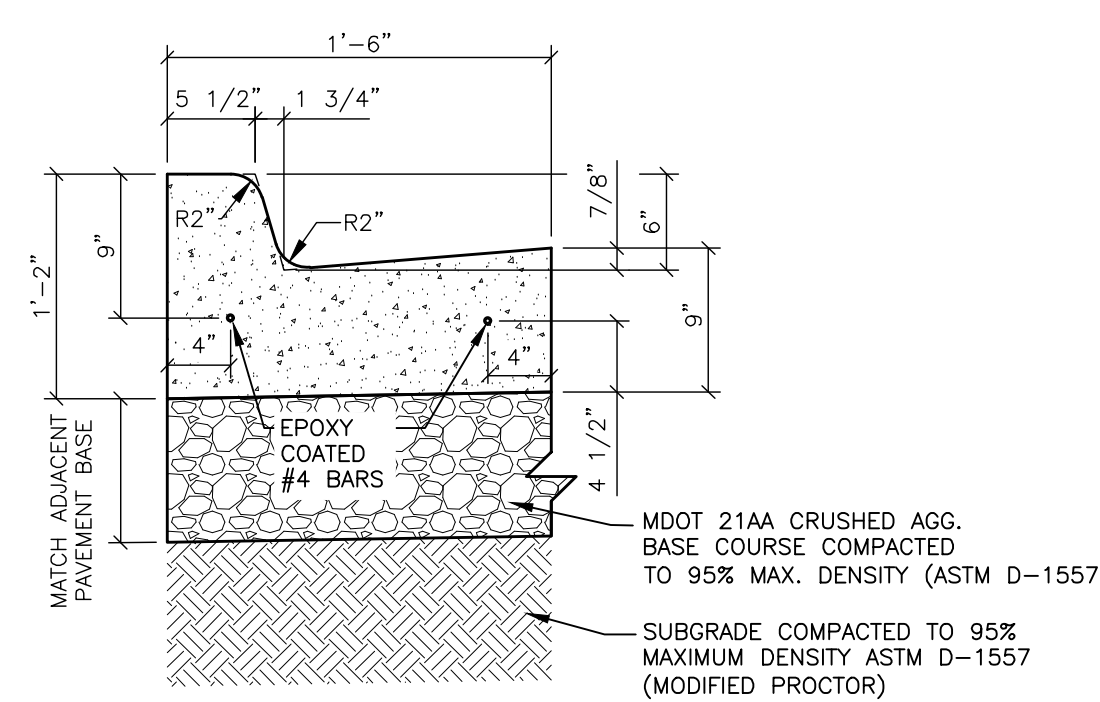
TRENCH DETAIL - NOT ADJACENT TO DRIVING SURFACE OR STRUCTURE



M.D.O.T. DRIVEWAY OPENING DETAIL "M"



CURB AND GUTTER DETAIL - CONCRETE - STANDARD - 18" W 6" H 14" D



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 HOWELL, MI 48843
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DETAIL
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PROJECT NO: 22-286

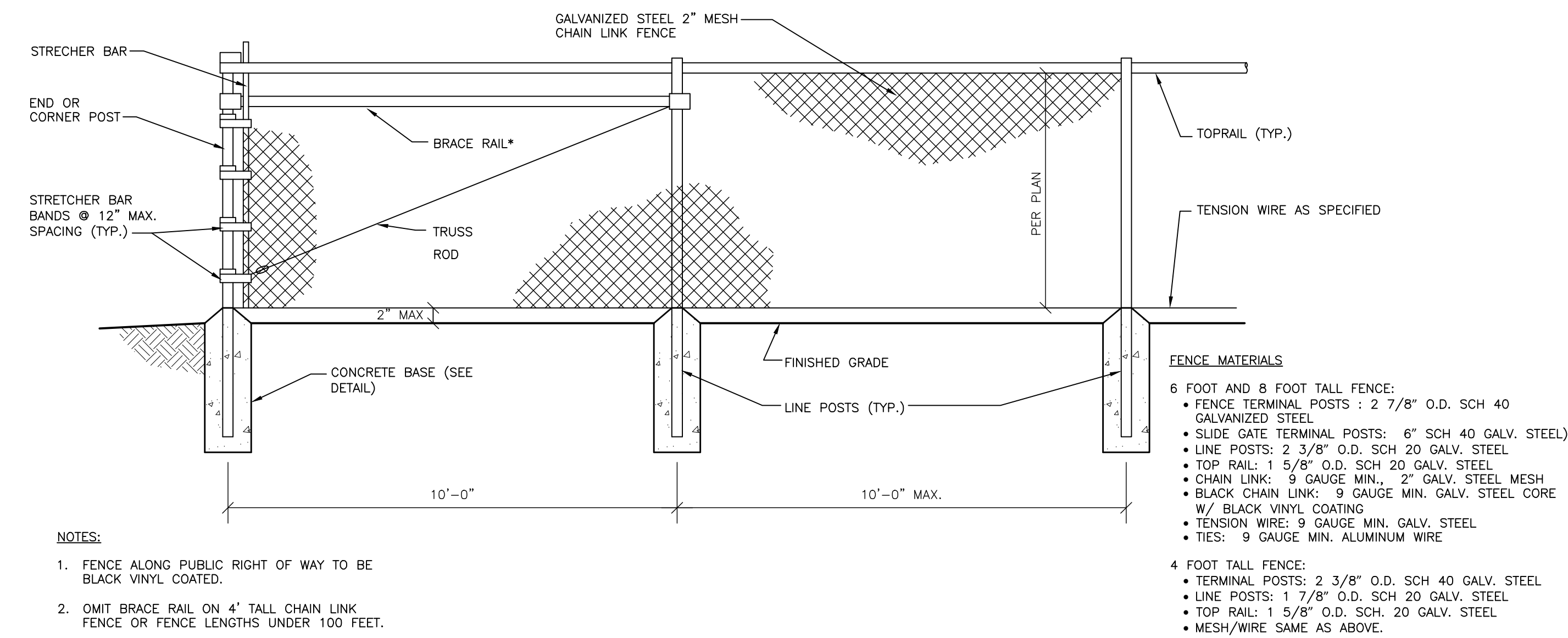
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FIELD:
 DRAWN BY: CD
 DESIGN BY: BS
 CHECK BY: AP

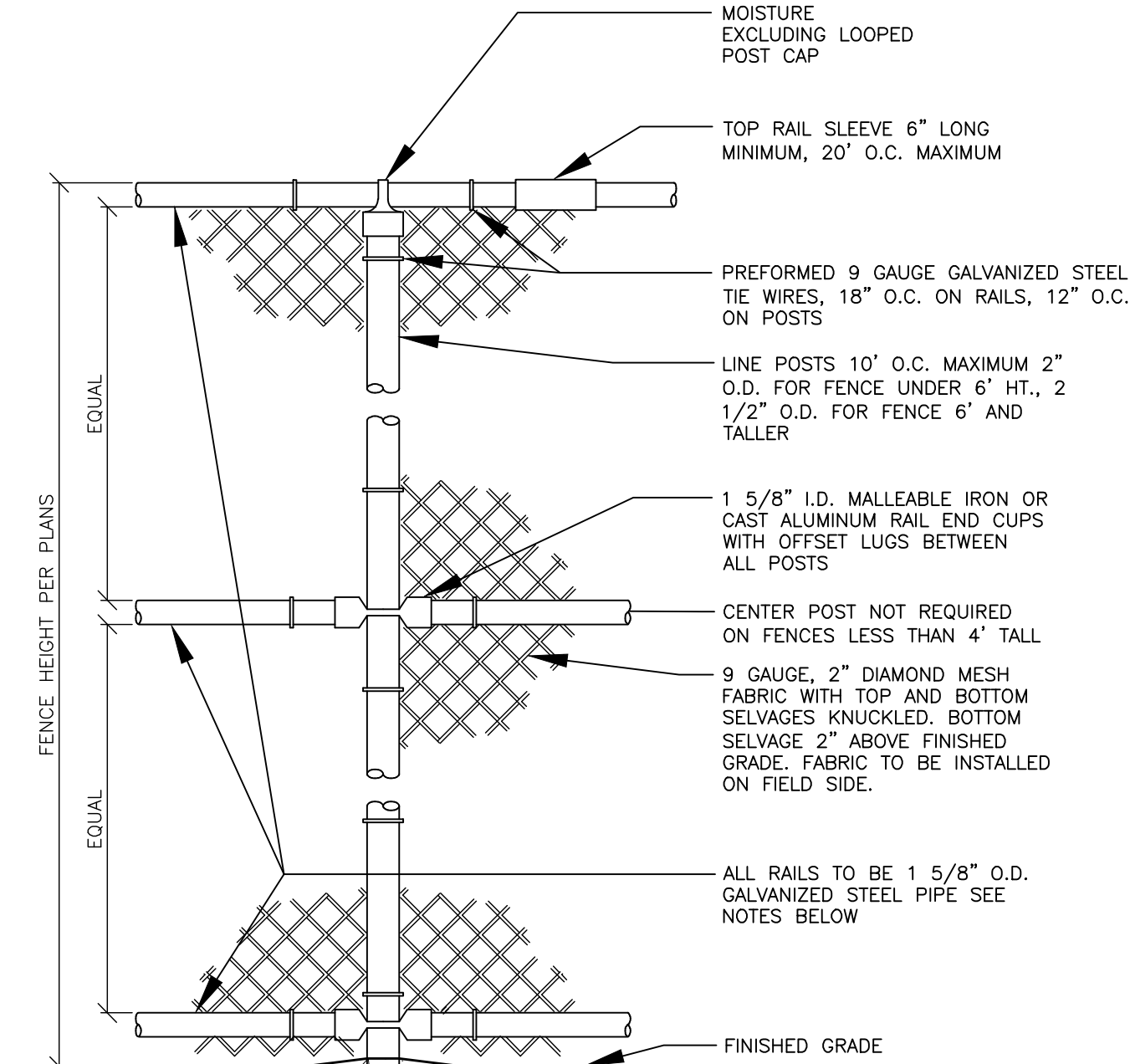
C-11.0

NOT FOR CONSTRUCTION

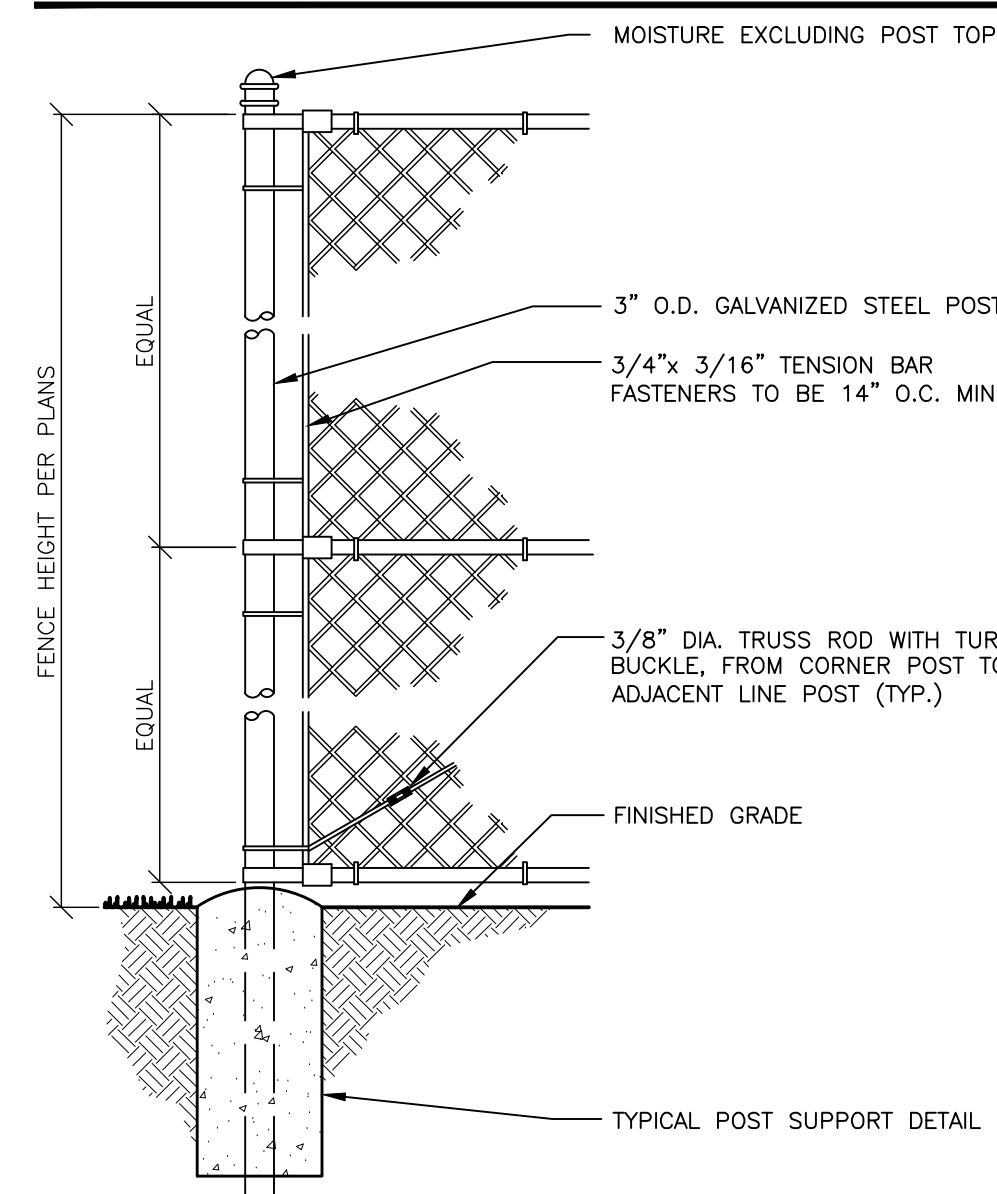
FENCE DETAIL - CHAIN LINK - STRAIGHT SEGMENT WITHOUT BARBED WIRE



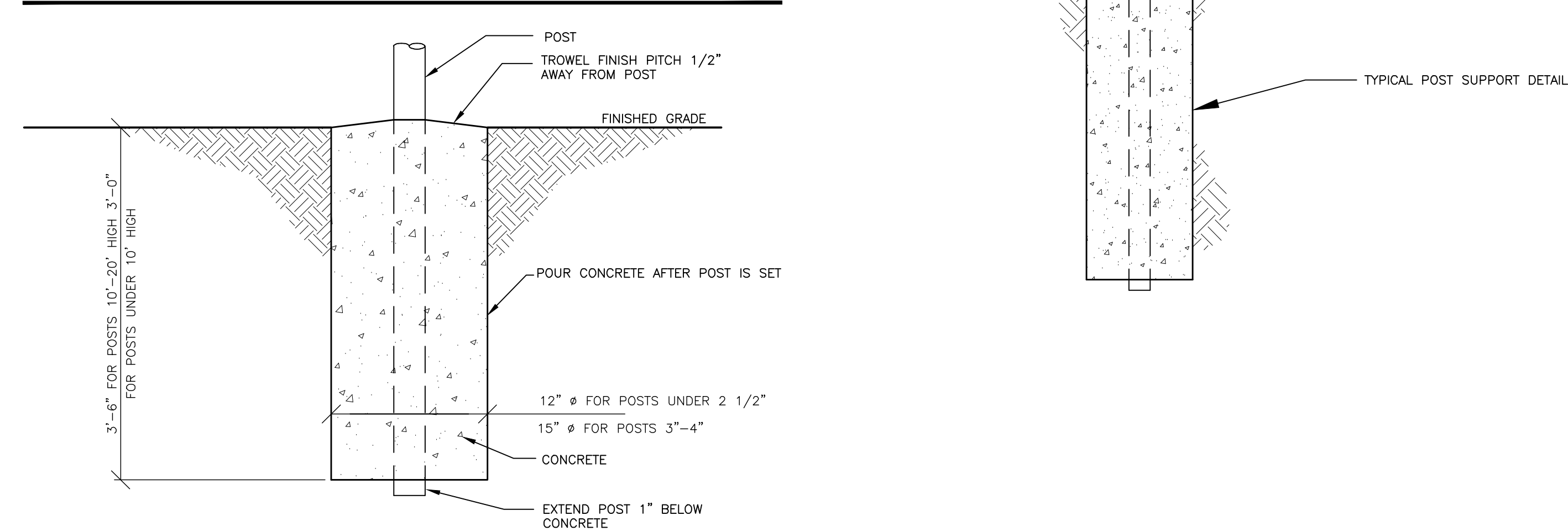
FENCE DETAIL - CHAIN LINK - STANDARD



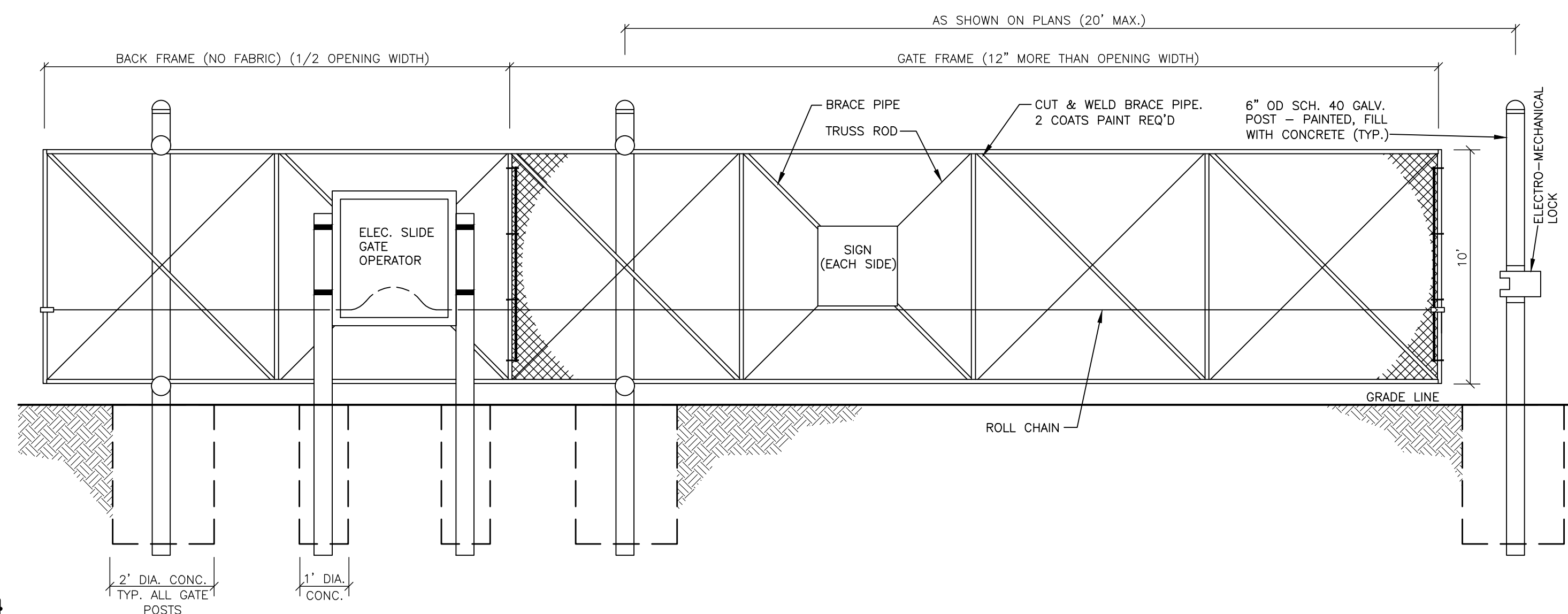
FENCE DETAIL - CHAIN LINK - TERMINAL-CORNER POST



FENCE DETAIL - POST SUPPORT



GATE DETAIL - CANTILEVER - SINGLE



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SCALE: N/A

0 1/2" 1"

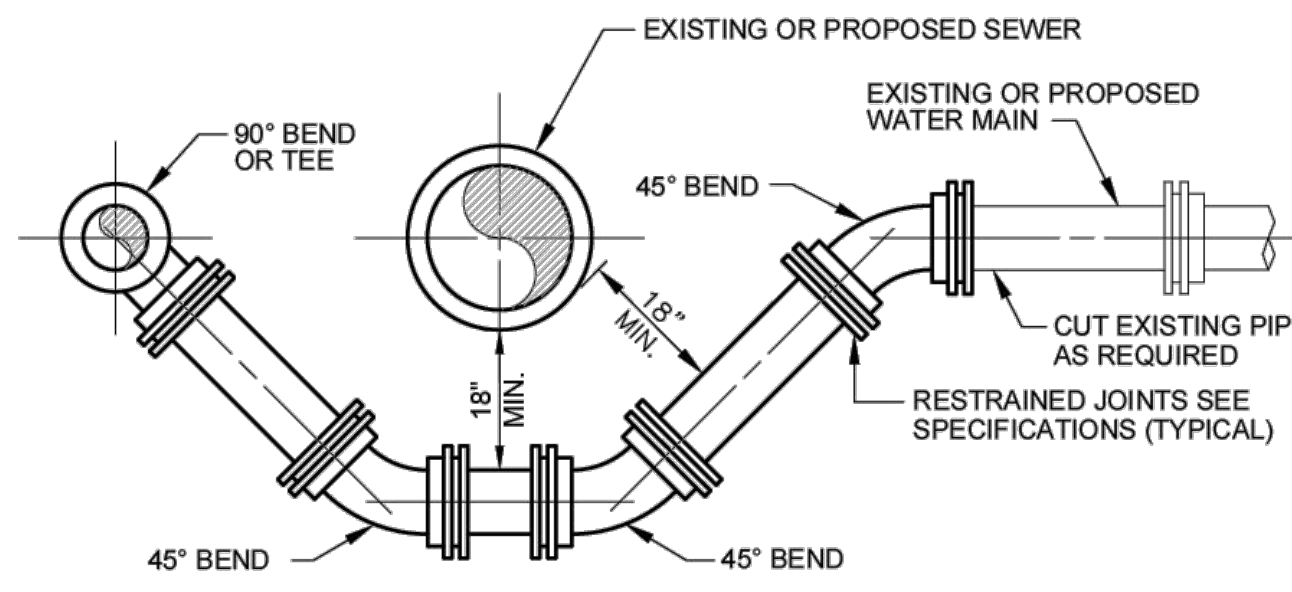
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DRAWN BY: CD
DESIGN BY: BS
CHECK BY: AP

C-11.1

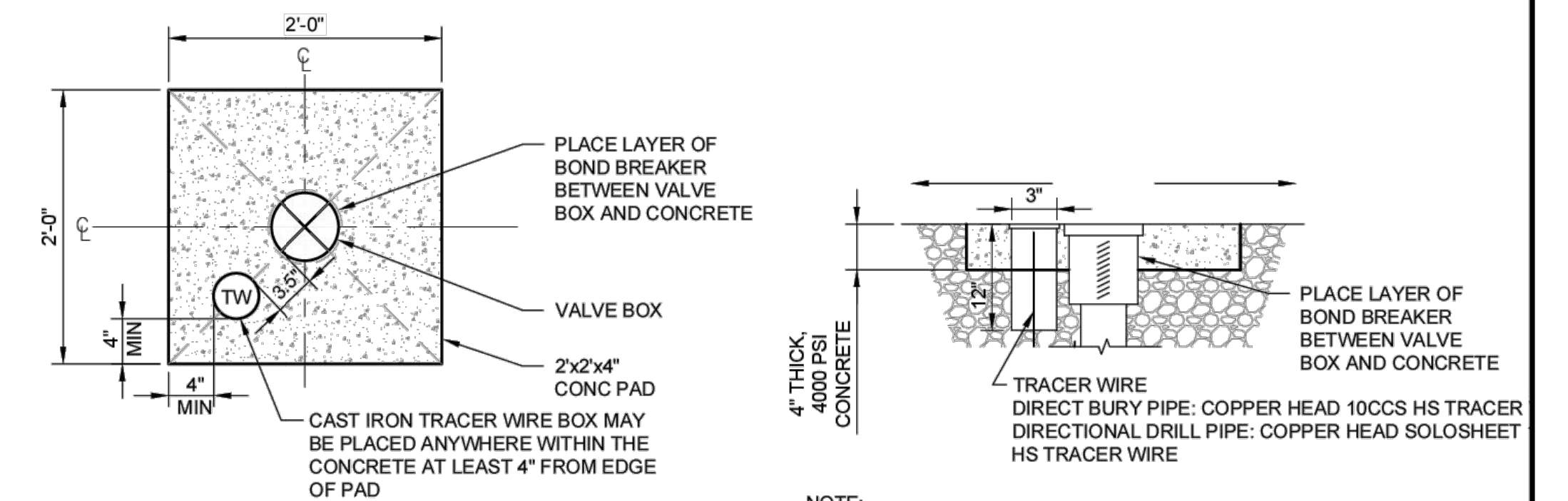
NOT FOR CONSTRUCTION

PIPE RESTRAINT SCHEDULE							
GROUND BURIED PRESSURE PIPE - POLYETHYLENE ENCASED DUCTILE IRON PIPE							
PIPE DIAMETER	TEES, 90° BENDS	45° BENDS	22-1/2° BENDS	11-1/4° BENDS	DEAD ENDS	REDUCERS (ONE SIZE REDUCTION)*	REDUCERS (TWO SIZE REDUCTION)*
4	13	5	3	1	40	--	--
6	19	8	4	2	58	31	--
8	24	10	5	2	75	30	70
12	34	14	7	3	107	57	116
16	43	18	9	4	139	59	137
20	52	22	10	5	169	59	134
24	61	25	12	6	199	60	132
30	73	30	15	7	242	85	168
36	84	35	17	8	281	84	168

- LENGTHS OF PIPE RESTRAINT ARE GIVEN IN FEET.
 - IF REQUIRED PIPE DIAMETER IS NOT LISTED IN THIS TABLE, THE NEXT LARGEST PIPE DIAMETER SHALL BE USED.
 - THIS TABLE IS BASED ON A TEST PRESSURE OF 180 PSI (OPERATING PRESSURE PLUS WATER HAMMER. FOR OTHER TEST PRESSURES, ALL VALUES TO BE INCREASED OR DECREASED PROPORTIONALLY.
 - THE VALUES PROVIDED OF RESTRAINT LENGTH ARE IN EACH DIRECTION FROM THE POINT OF DEFLECTION OR TERMINATION EXCEPT FOR TEES, AT WHICH ONLY THE BRANCH IN THE DIRECTION OF THE STEM.
 - IF TIE RODS ARE USED, USE FOUR RODS MINIMUM AND ADD 1/8-INCH TO BAR DIAMETER AS CORROSION ALLOWANCE.
- * SIZE REDUCTION IS BASED UPON THE PIPE DIAMETER SHOWN IN THIS TABLE.
- BASED UPON: INTERNAL PRESSURE: 180
PIPE DEPTH: 5
BEDDING CLASS: TYPE 4
SOIL TYPE: GOOD SAND
SAFETY FACTOR: 2

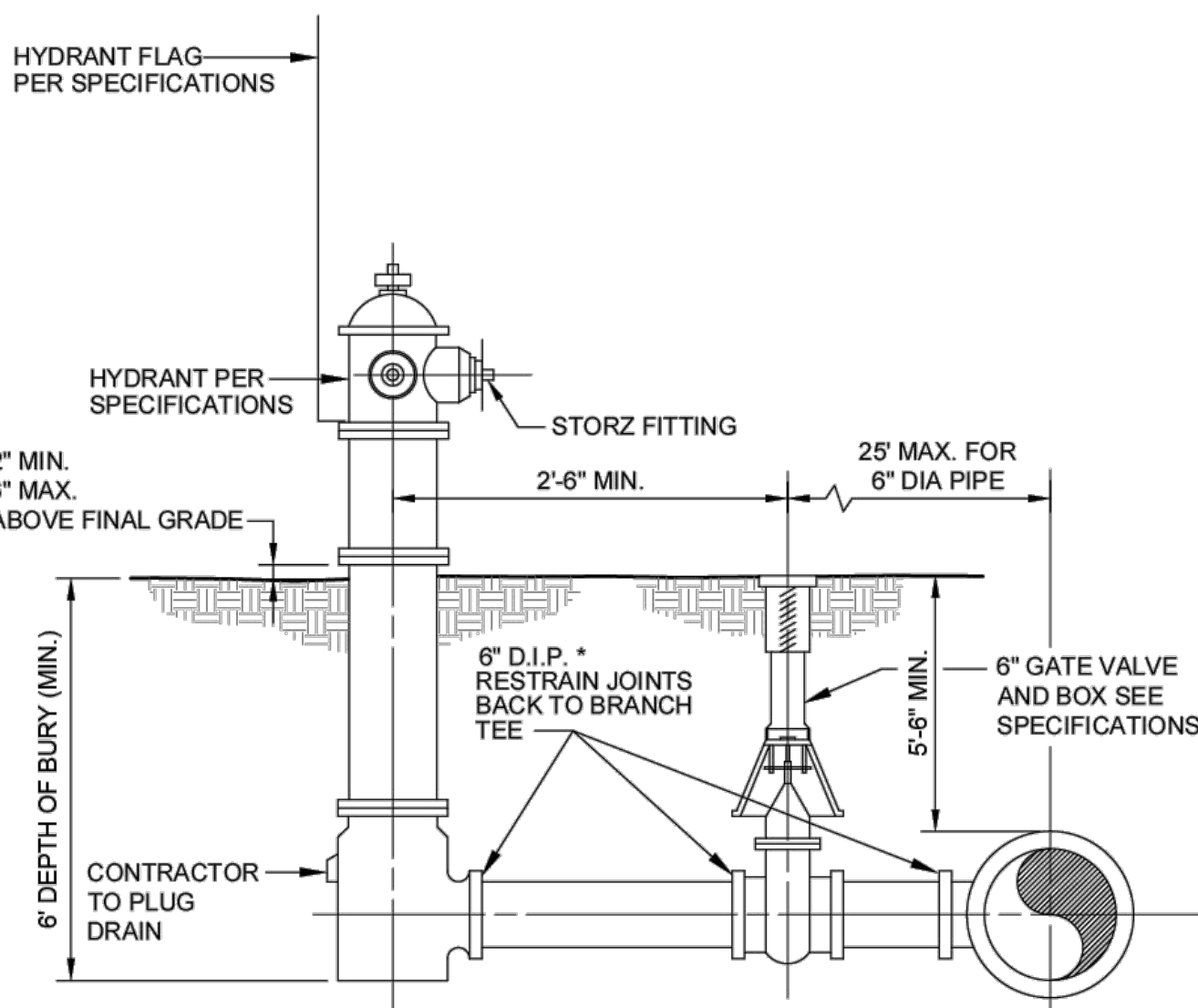


WATER MAIN UTILITY OFFSET

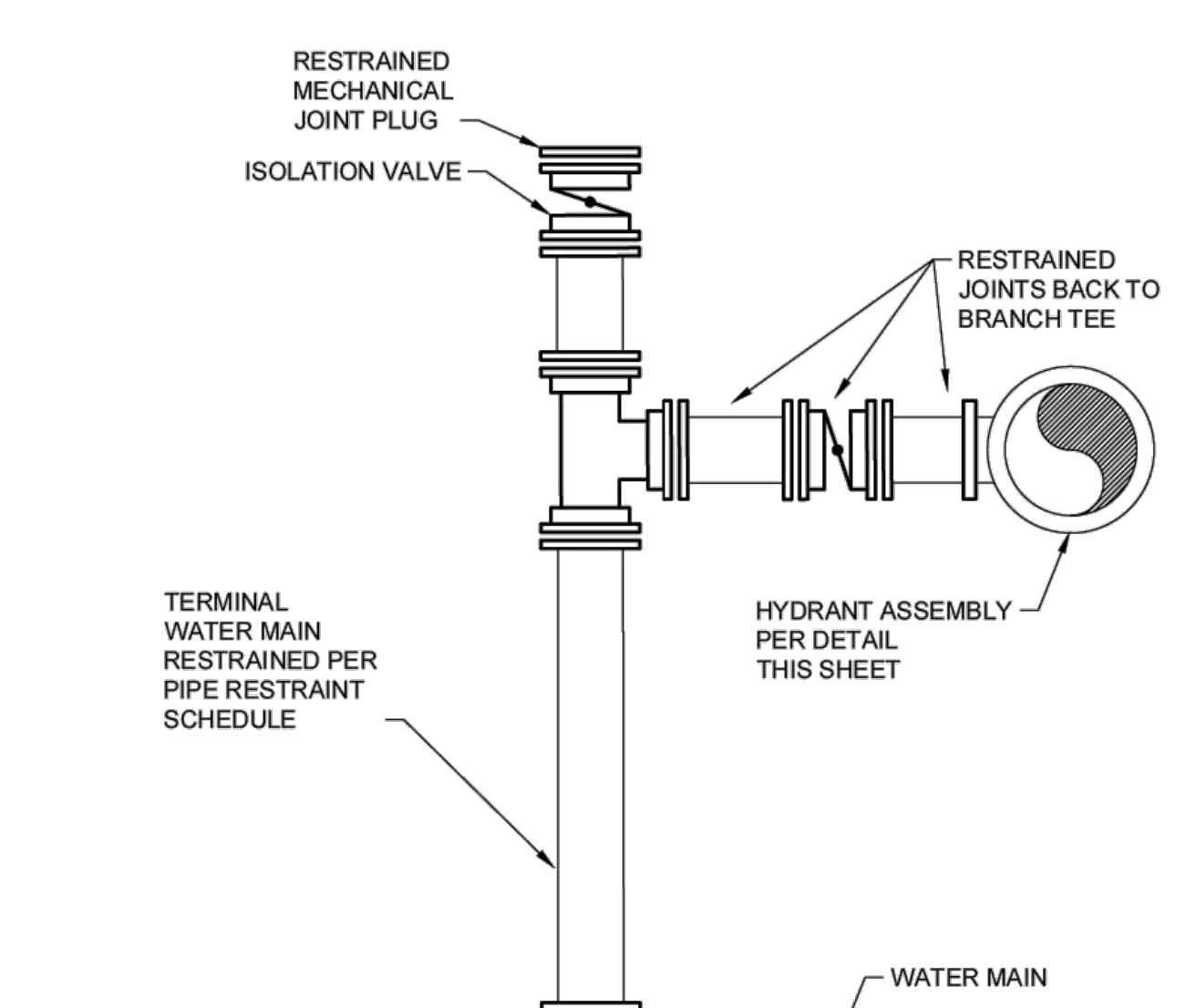


- NOTE: ALL BOXES & ADJOINING TW BOXES SHALL BE ENCASED IN A CONC. PAD UNLESS OTHERWISE DETERMINED BY MHOG.
- NOTE:
- TRACER WIRE BOXES LOCATED WITHOUT A VALVE BOX ONLY REQUIRE AN 18" X 18" CONCRETE PAD.
 - TRACER WIRE BOX SHALL HAVE A LOCKING LID W/STANDARD AWWA PENTAGON KEY.
 - TRACER WIRE BOX SHALL BE COPPERHEAD RB14"TP IN ASPHALT INSTALLATIONS AND CD14"TP FOR ALL OTHER INSTALLATIONS.

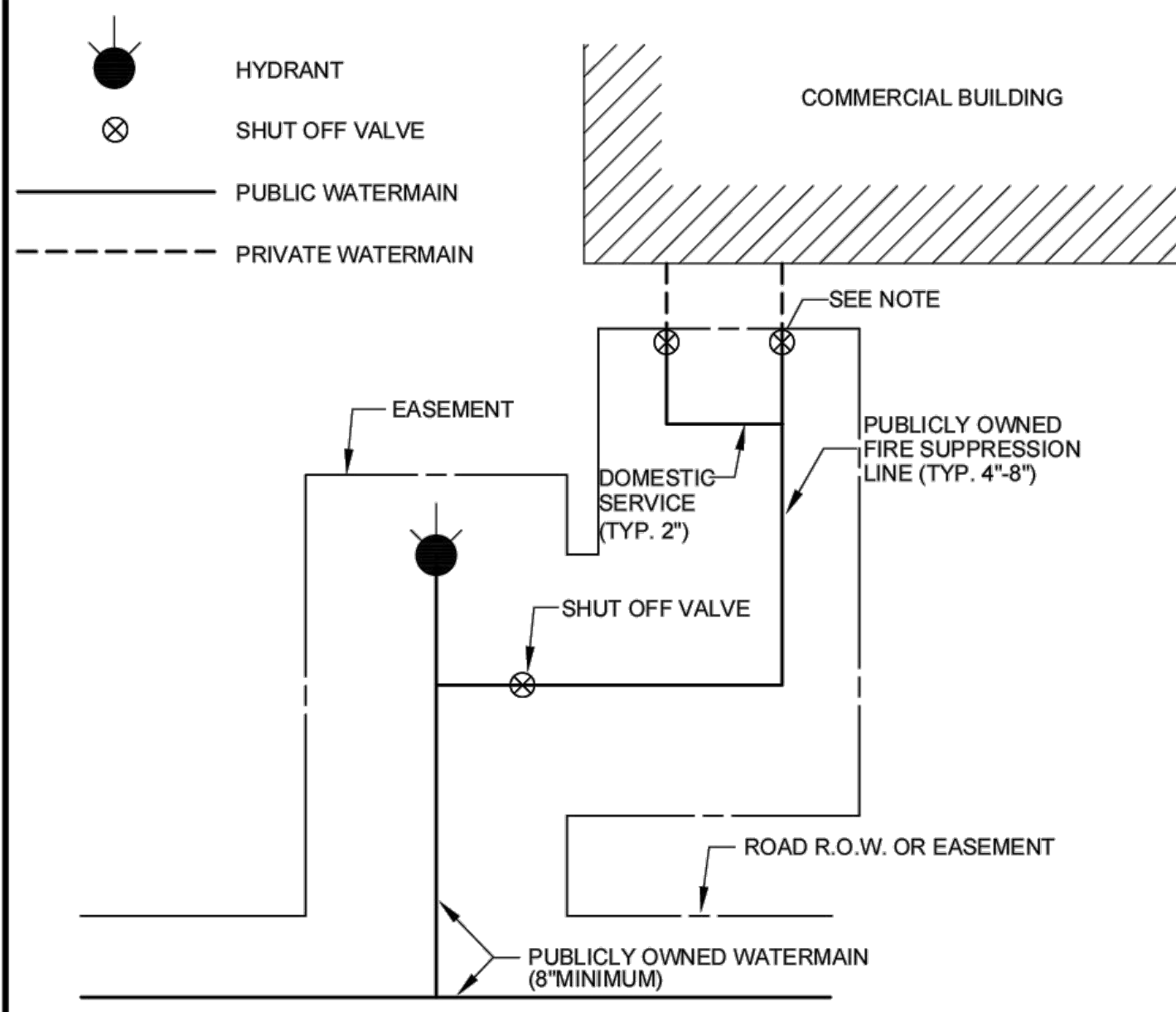
PLAN
VALVE/TRACER WIRE BOX IN CONCRETE DETAIL
NO SCALE



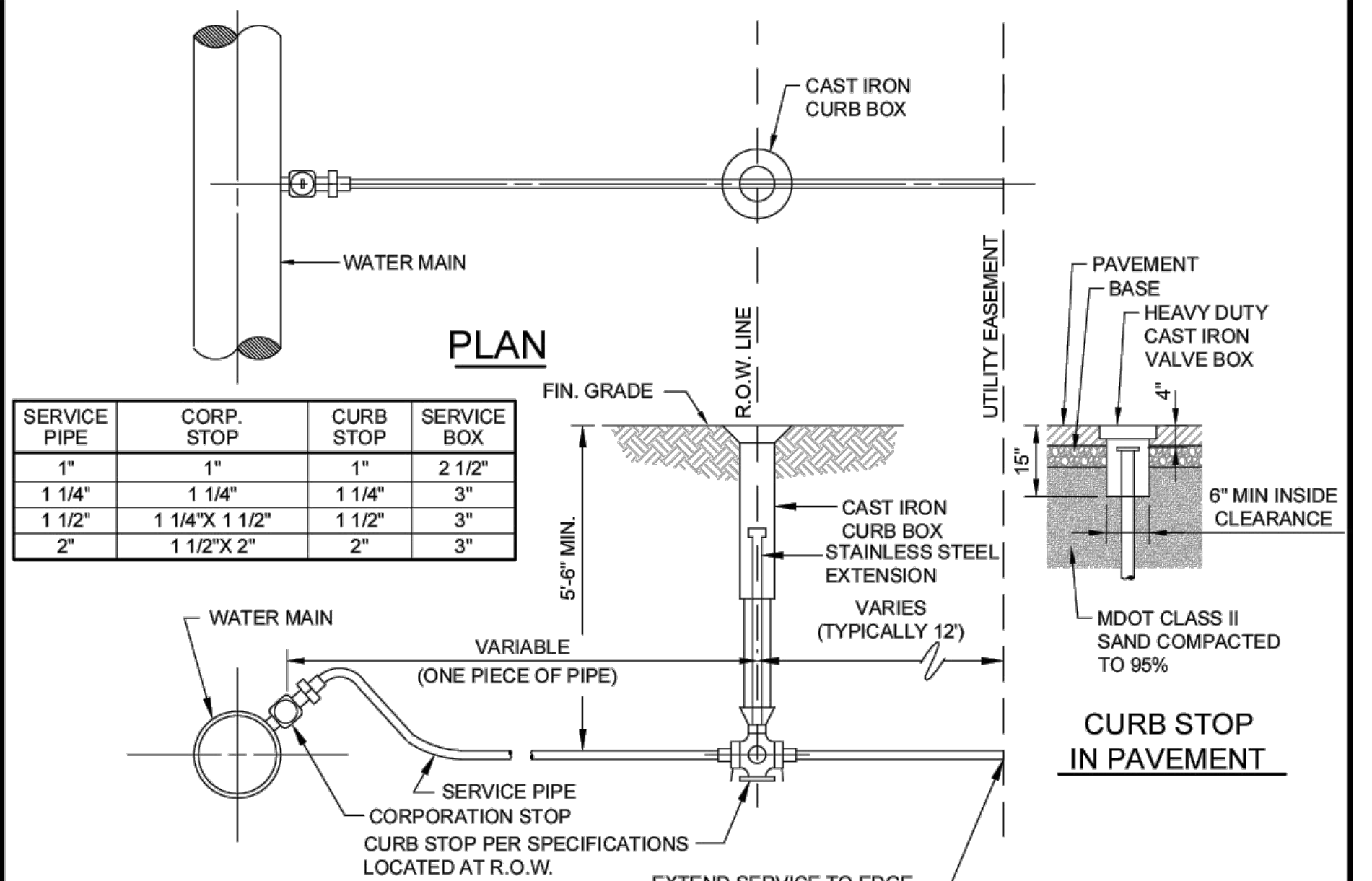
FIRE HYDRANT ASSEMBLY



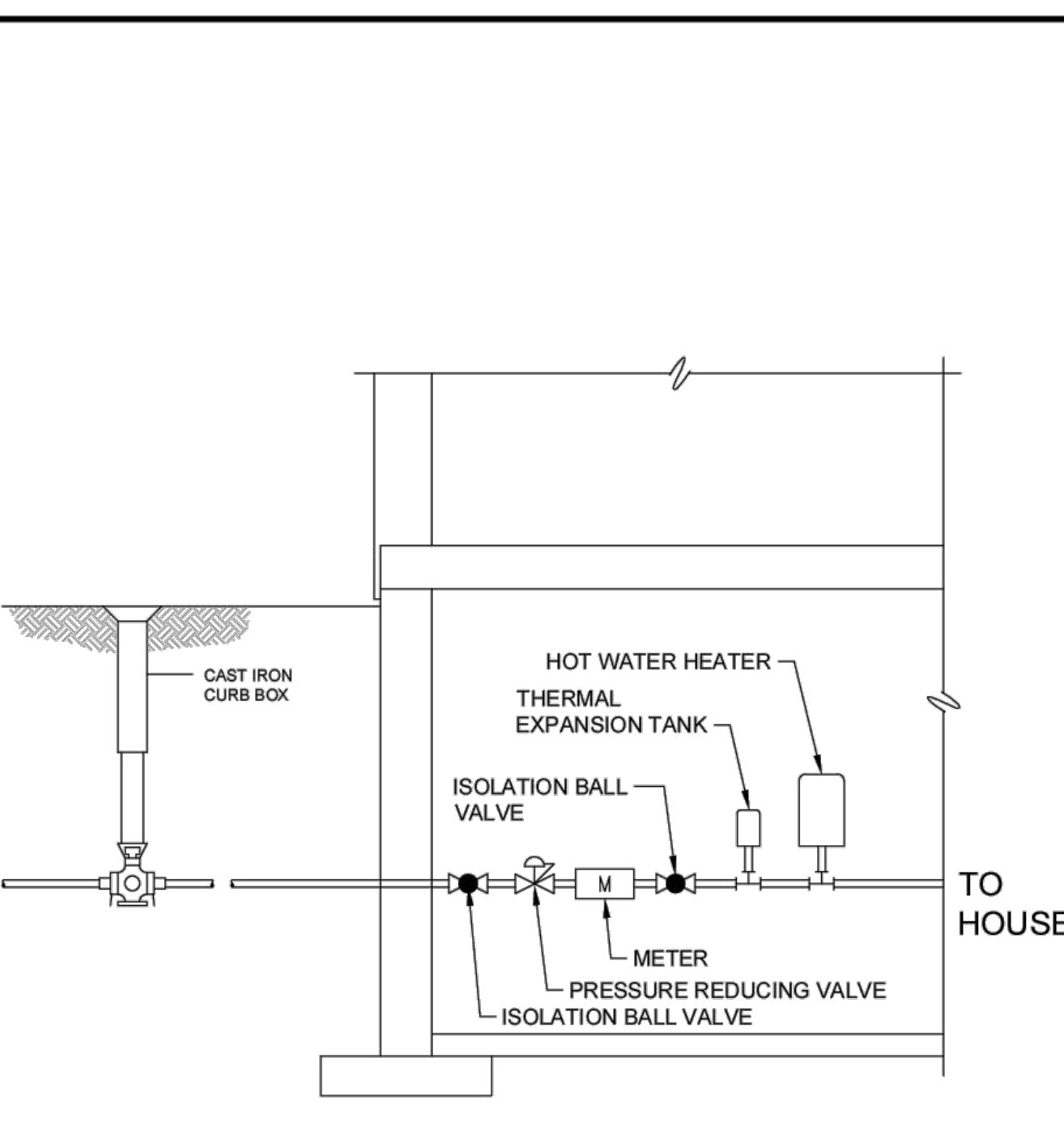
TERMINAL HYDRANT DETAIL



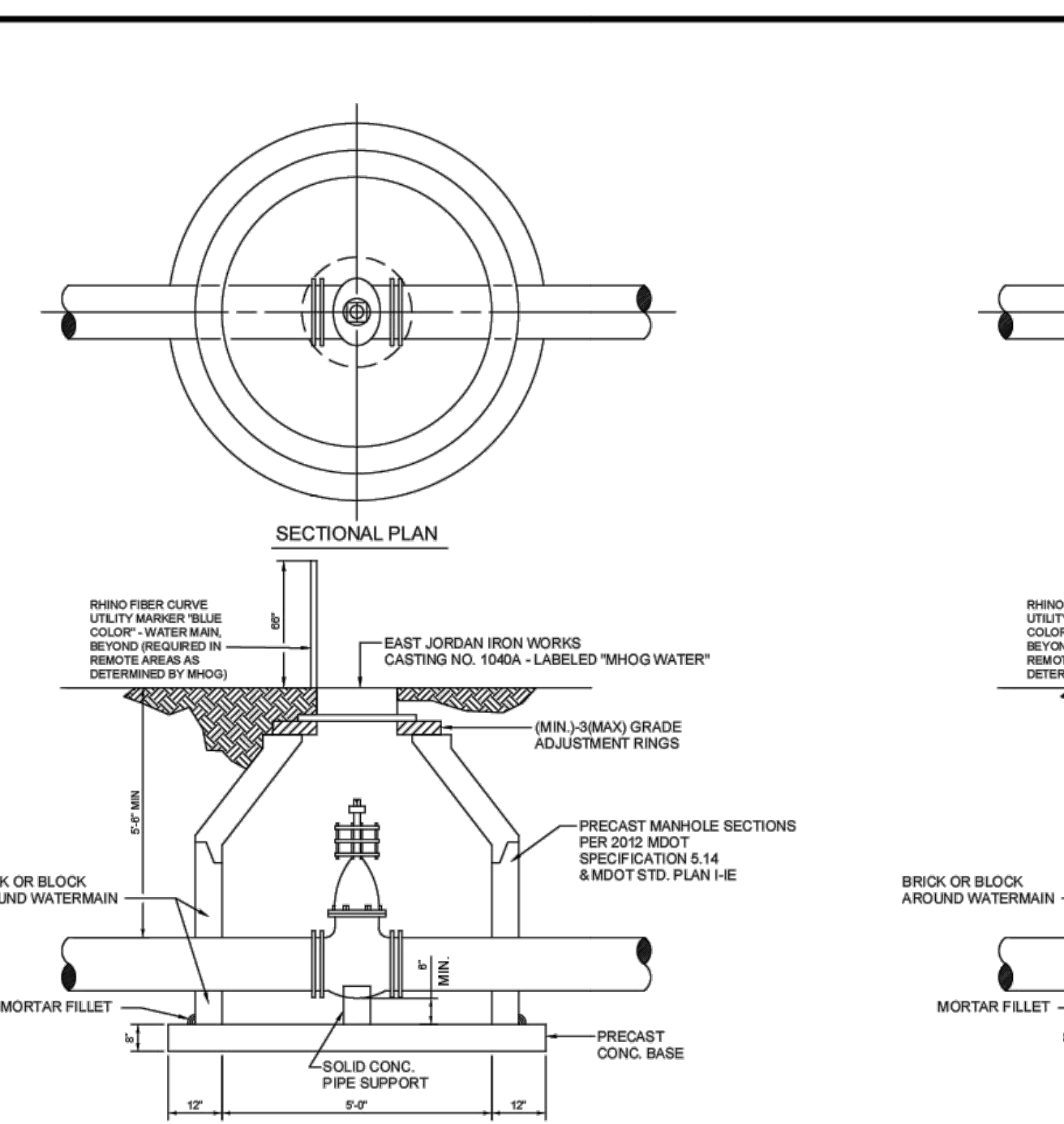
COMMERCIAL BUILDING WATER SERVICE LAYOUT



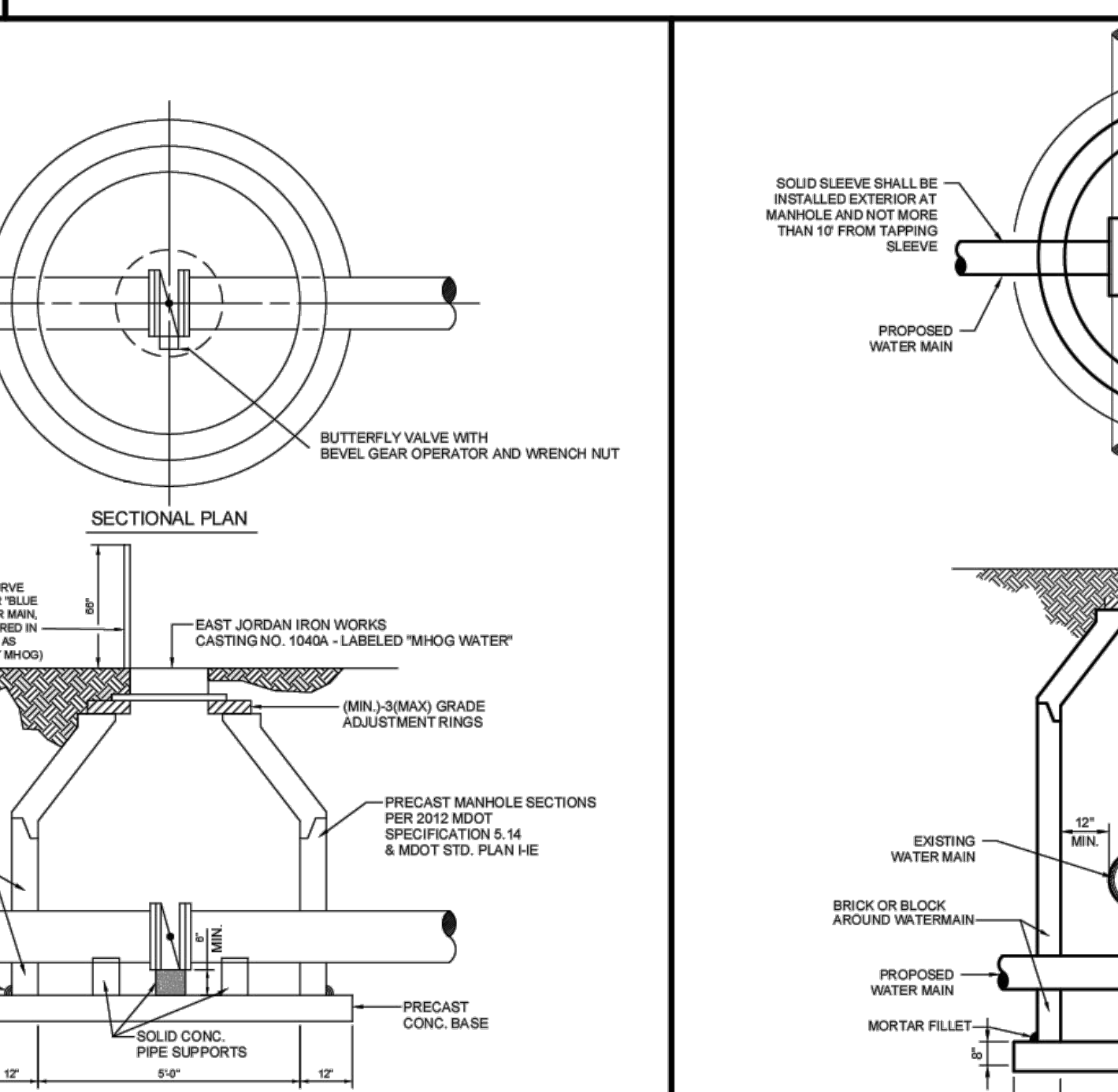
SECTION
WATER SERVICE LATERAL



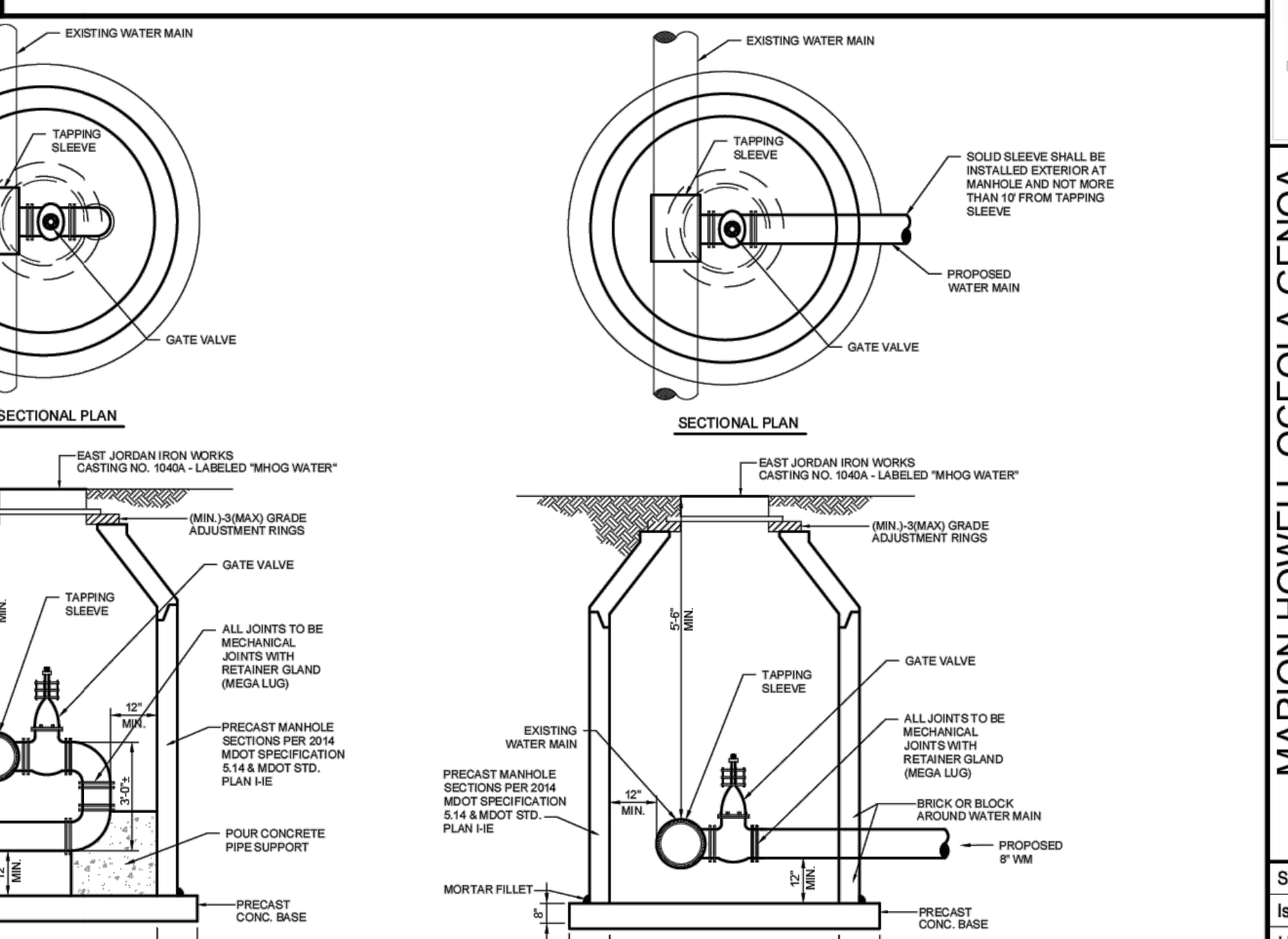
PRIVATE RESIDENCE
PRESSURE REDUCING VALVE (PRV)



VALVE AND GATE WELL



BUTTERFLY VALVE AND WELL



REVERSE TAP GATE WELL

REGULAR TAP GATE WELL



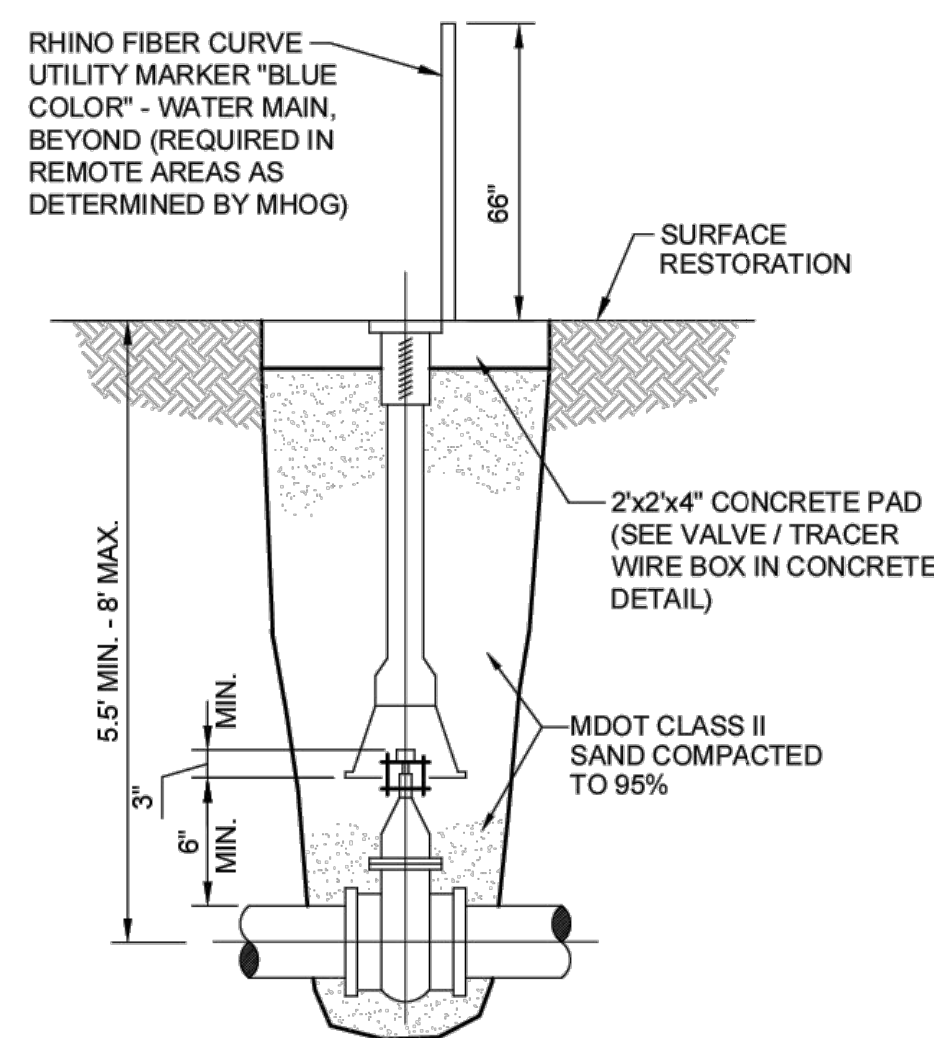
MARION HOWELL OCEOLA GENOA
Sewer and Water Authority

Scale: NONE
Issued Date: JANUARY - 2014
UPDATED: MAY 2015
UPDATED: FEBRUARY 2016
UPDATED: APRIL 2016
UPDATED: OCTOBER 2017
UPDATED: FEBRUARY 2019
UPDATED: NOVEMBER 2022

STANDARD DETAILS

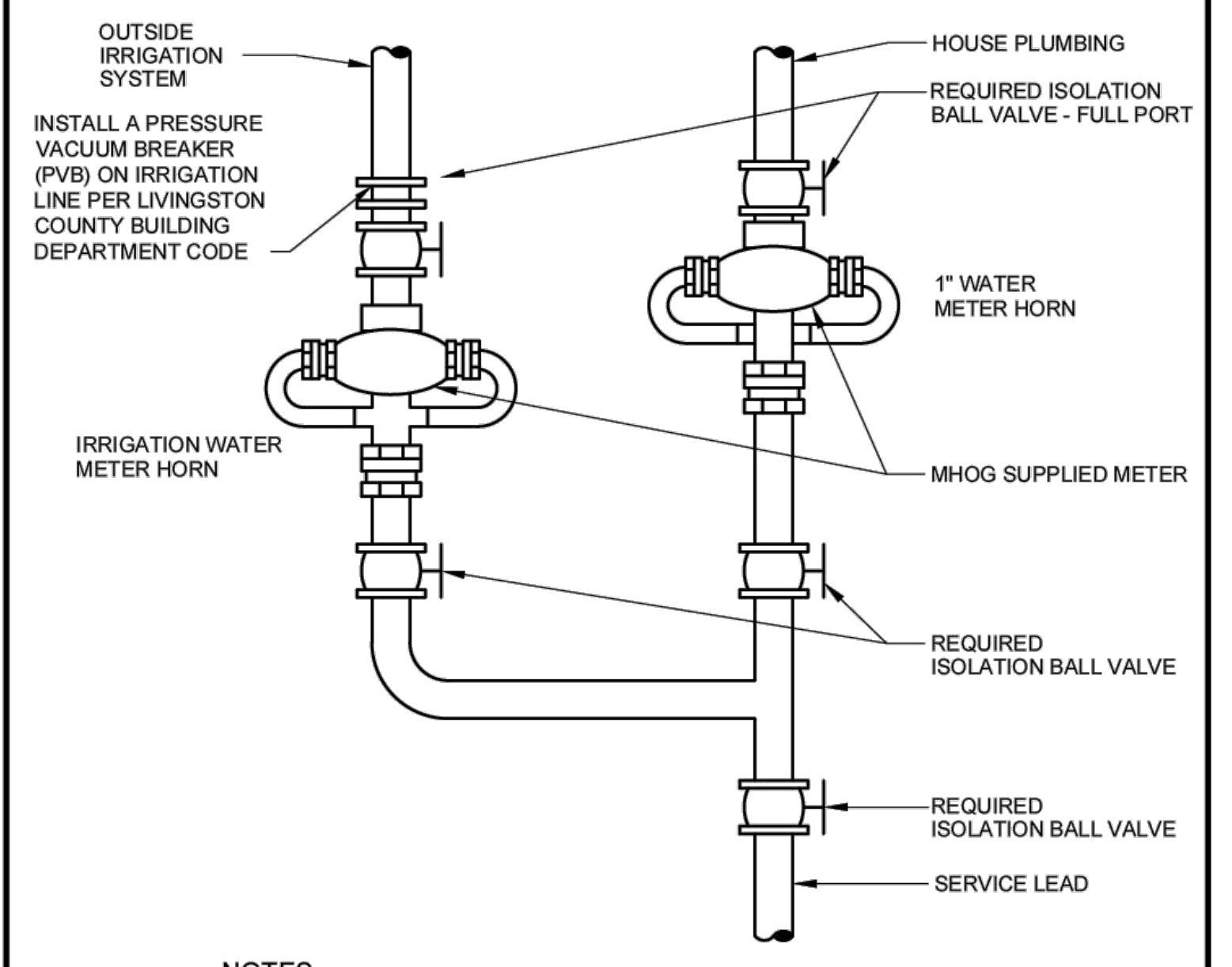
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Tuesday, November 8, 2022 1:47:13 PM DRAWING: O:\Projects\laning\ER12719\200-12719-00-000\CAD\SheetFiles\Mhog-std.dwg



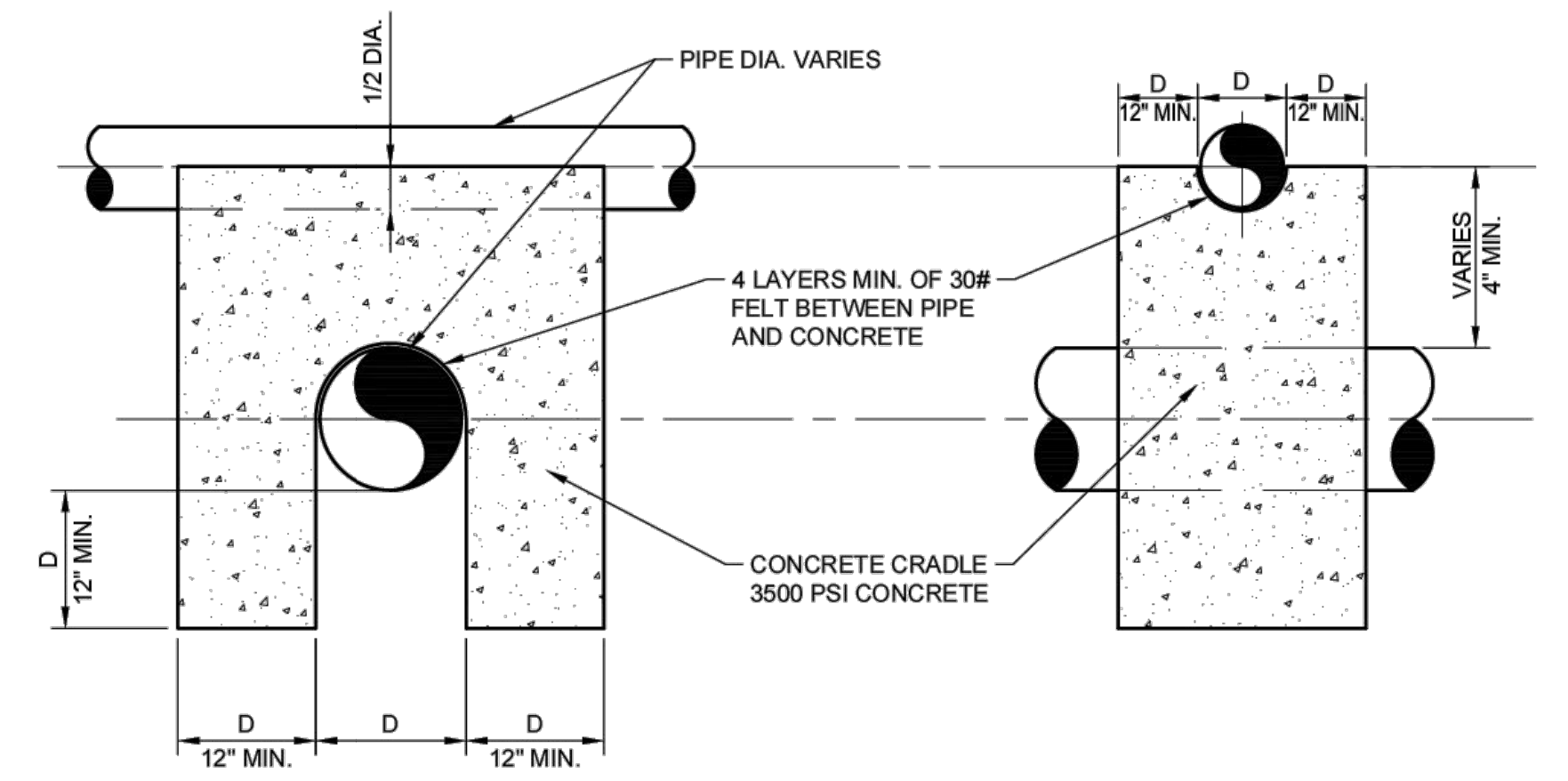
- NOTES:
1. VALVE BOX SHALL NOT REST ON VALVE OR MAIN LINE PIPE.
 2. A VALVE STEM EXTENSION WITH CENTERING RING IS REQUIRED FOR VALVES BURIED DEEPER THAN 6\"/>

GATE VALVE AND BOX

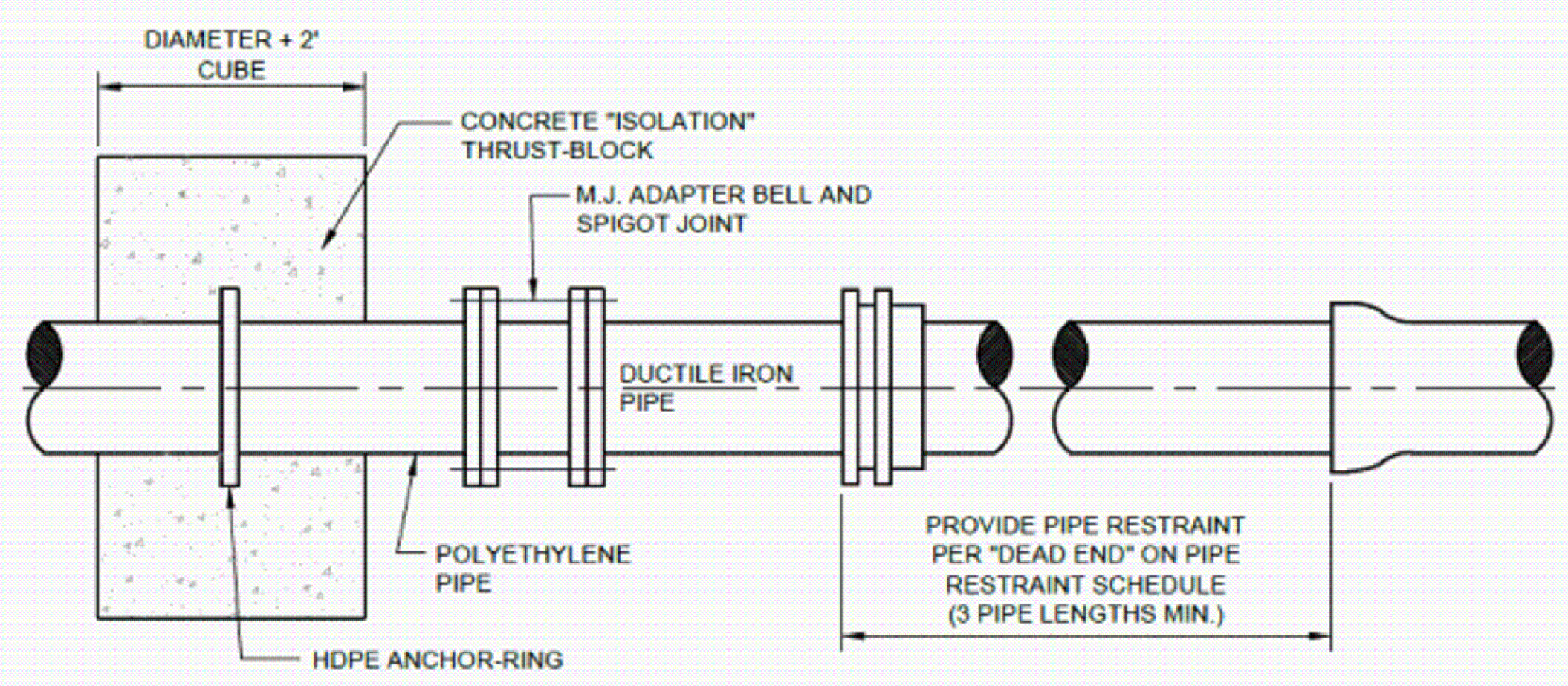


- NOTES:
1. ALL METERS ARE TO BE INSTALLED HORIZONTALLY IN A DRY, CLEAN, SANITARY LOCATION THAT IS READILY ACCESSIBLE. THIS DRAWING IS NOT TO SCALE & IS ONLY A REPRESENTATION OF HOW THE VALVES AND METERS SHOULD BE INSTALLED. THE SECOND METER IS OPTIONAL FOR IRRIGATION USAGE. METERS SHOULD NOT BE INSTALLED IN LINE (ONE RIGHT AFTER THE OTHER).
 2. PROPERTIES DESIGNATED "HIGH HAZARD" PER THE MHOG CROSS CONNECTION RULES MANUAL WILL REQUIRE THE INSTALLATION OF A REDUCED PRESSURE ZONE (RPZ) BACK FLOW PREVENTION DEVICE.

TYPICAL METER HORN INSTALLATION



CONCRETE CRADLE DETAIL
SCALE: NONE



HDPE TO DIP CONNECTION DETAIL
NO SCALE



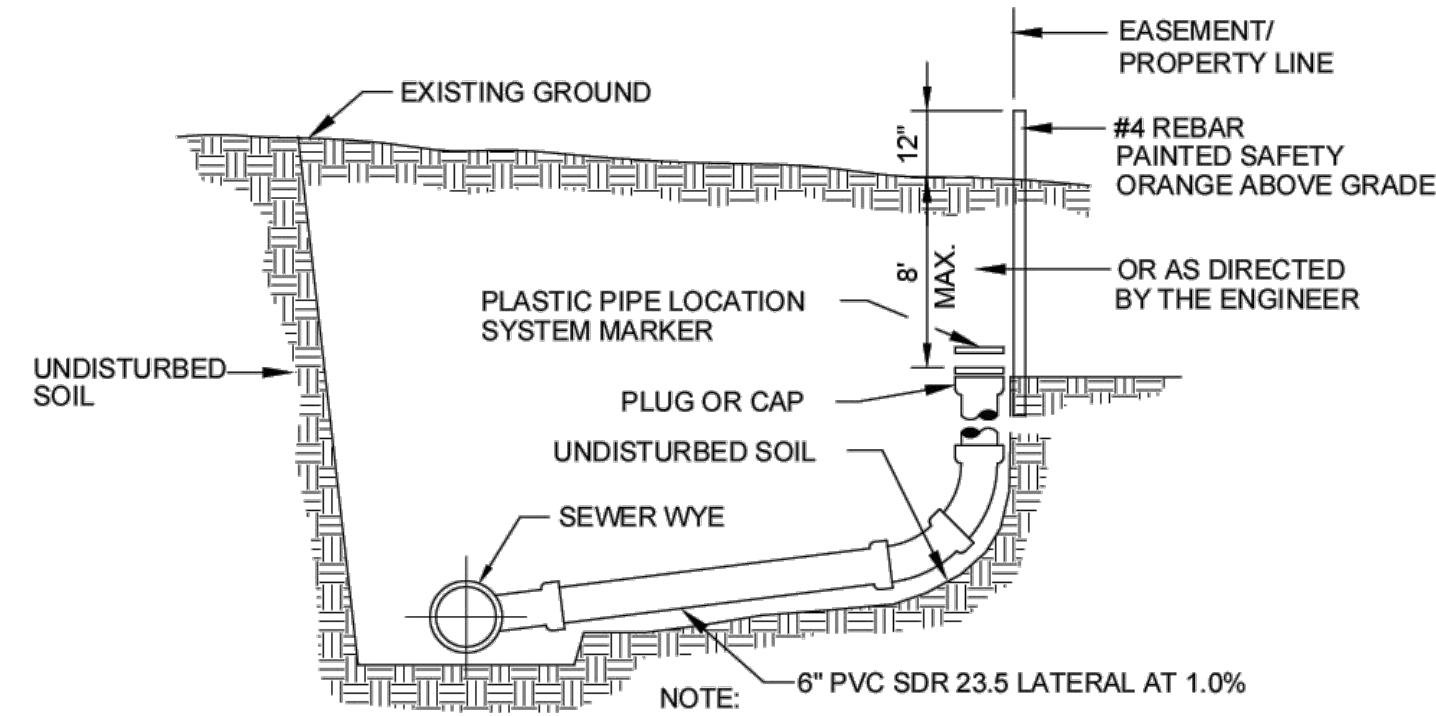
MHOG CASTING DETAIL
NO SCALE



MARION HOWELL OCEOLA GENOA
Sewer and Water Authority

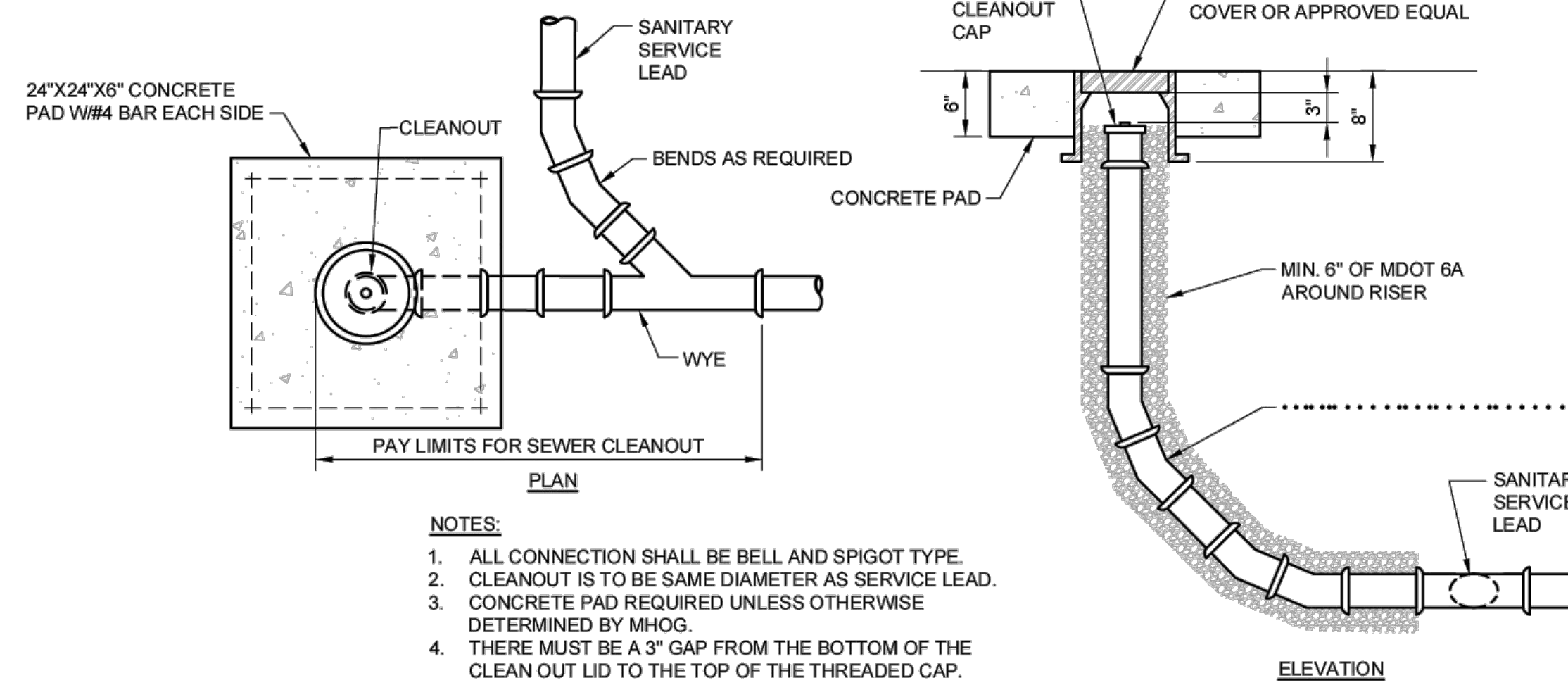
STANDARD DETAILS

Scale: NONE
 Issued Date: JANUARY - 2014
 UPDATED: MAY 2015
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 UPDATED: OCTOBER 2017
 UPDATED: FEBRUARY 2019
 UPDATED: NOVEMBER 2022



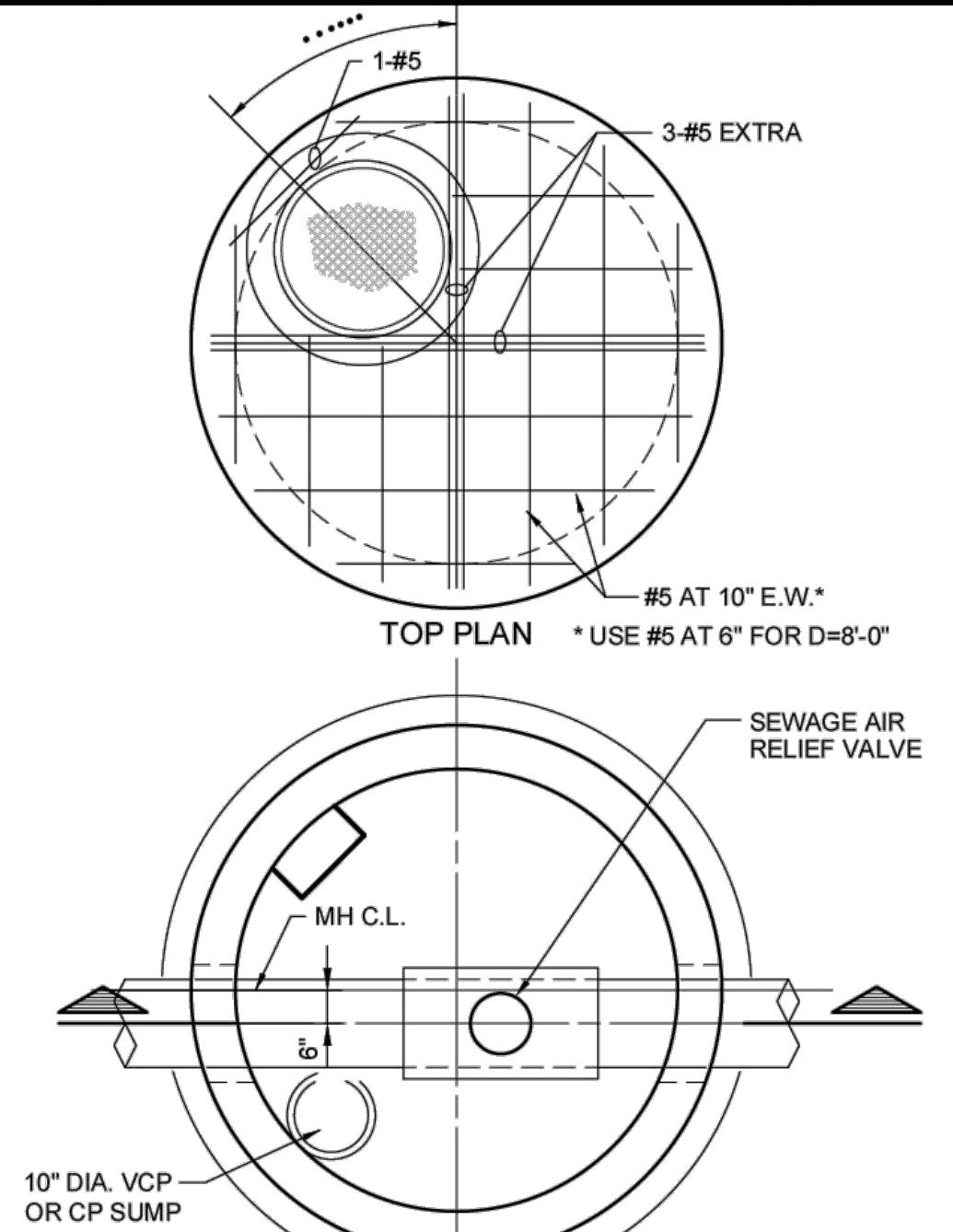
SANITARY SEWER LATERAL

NOTE: 6" PVC SDR 23.5 LATERAL AT 1.0%
 1. RISER PIPE MAY NOT BE REQUIRED FOR SHALLOW SEWERS AS SHOWN.
 2. WHEN CONNECTING TO AN EXISTING SEWER THE AUTHORITY MAY REQUIRE CORING OF THE EXISTING PIPE AND INSTALLATION OF A SEWER SADDLE. SADDLE SHALL BE ROMAC "CB" SEWER SADDLE OR APPROVED EQUAL.

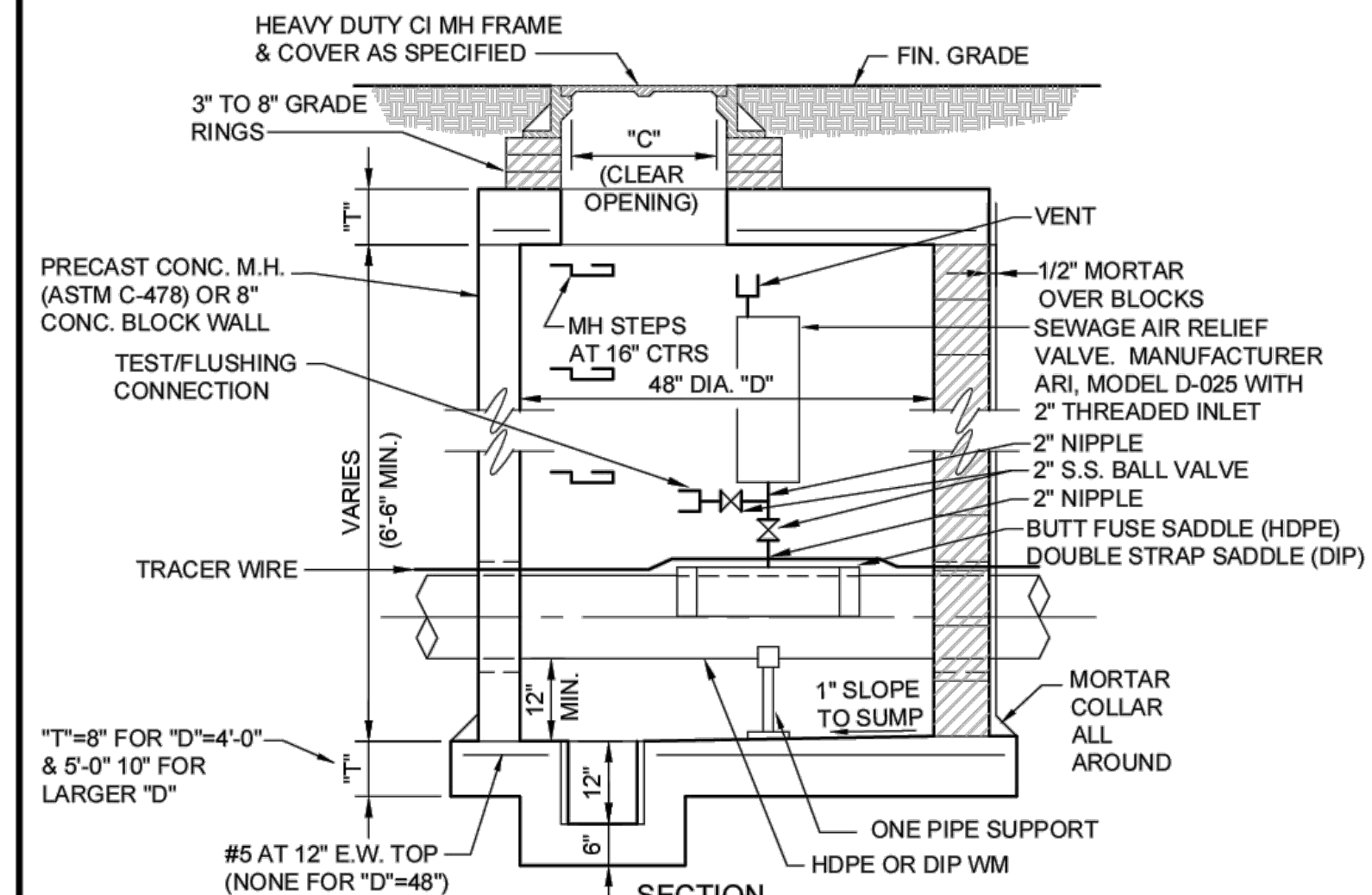


SEWER CLEANOUT DETAIL

NOTES:
 1. ALL CONNECTION SHALL BE BELL AND SPIGOT TYPE.
 2. CLEANOUT IS TO BE SAME DIAMETER AS SERVICE LEAD.
 3. CONCRETE PAD REQUIRED UNLESS OTHERWISE DETERMINED BY MHOG.
 4. THERE MUST BE A 3" GAP FROM THE BOTTOM OF THE CLEAN OUT LID TO THE TOP OF THE THREADED CAP.

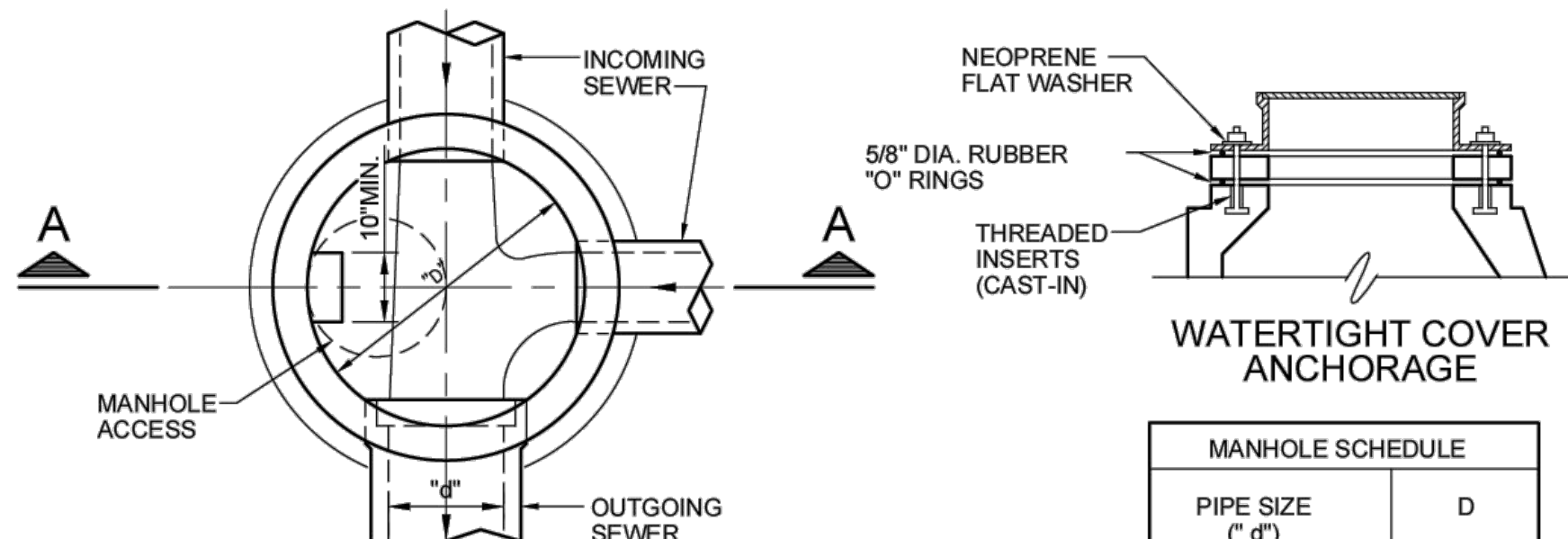


AIR RELIEF STRUCTURE



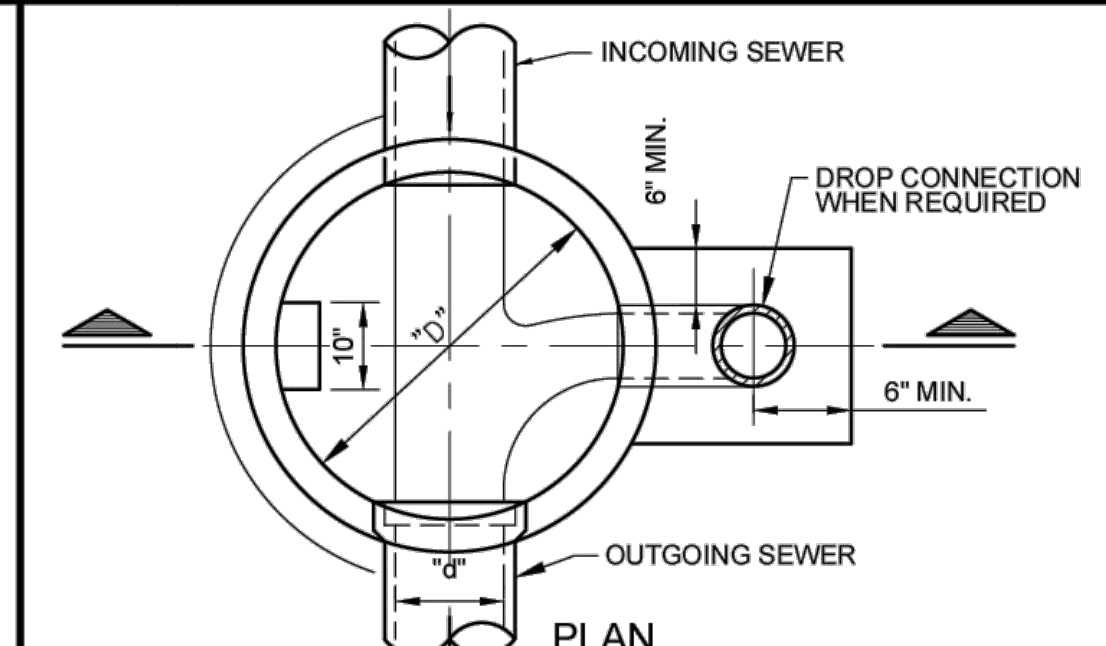
AIR RELIEF STRUCTURE

NOTE: ALL PLUMBING MATERIALS TO BE NON-CORROSIVE. ALL FITTINGS SHALL BE STAINLESS STEEL.



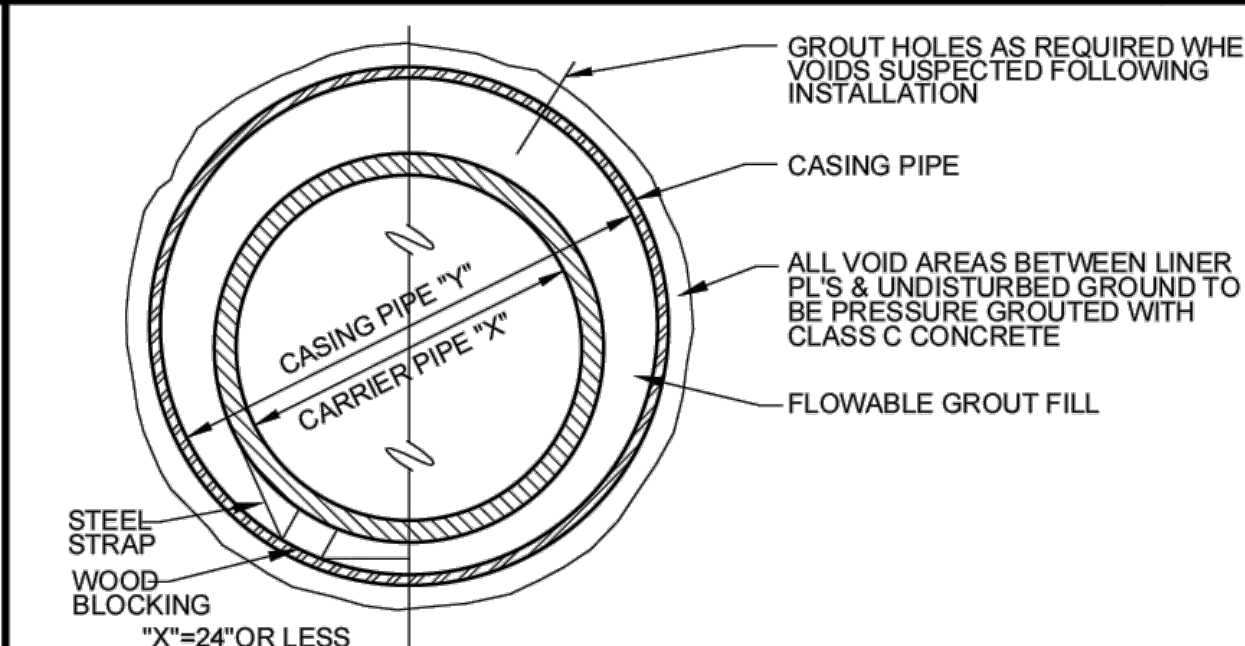
WATERTIGHT COVER ANCHORAGE

MANHOLE SCHEDULE	
PIPE SIZE ("d")	D
8"-24"	48"
27"-36"	60"
42"-48"	72"
54"	84"



DROP CONNECTION

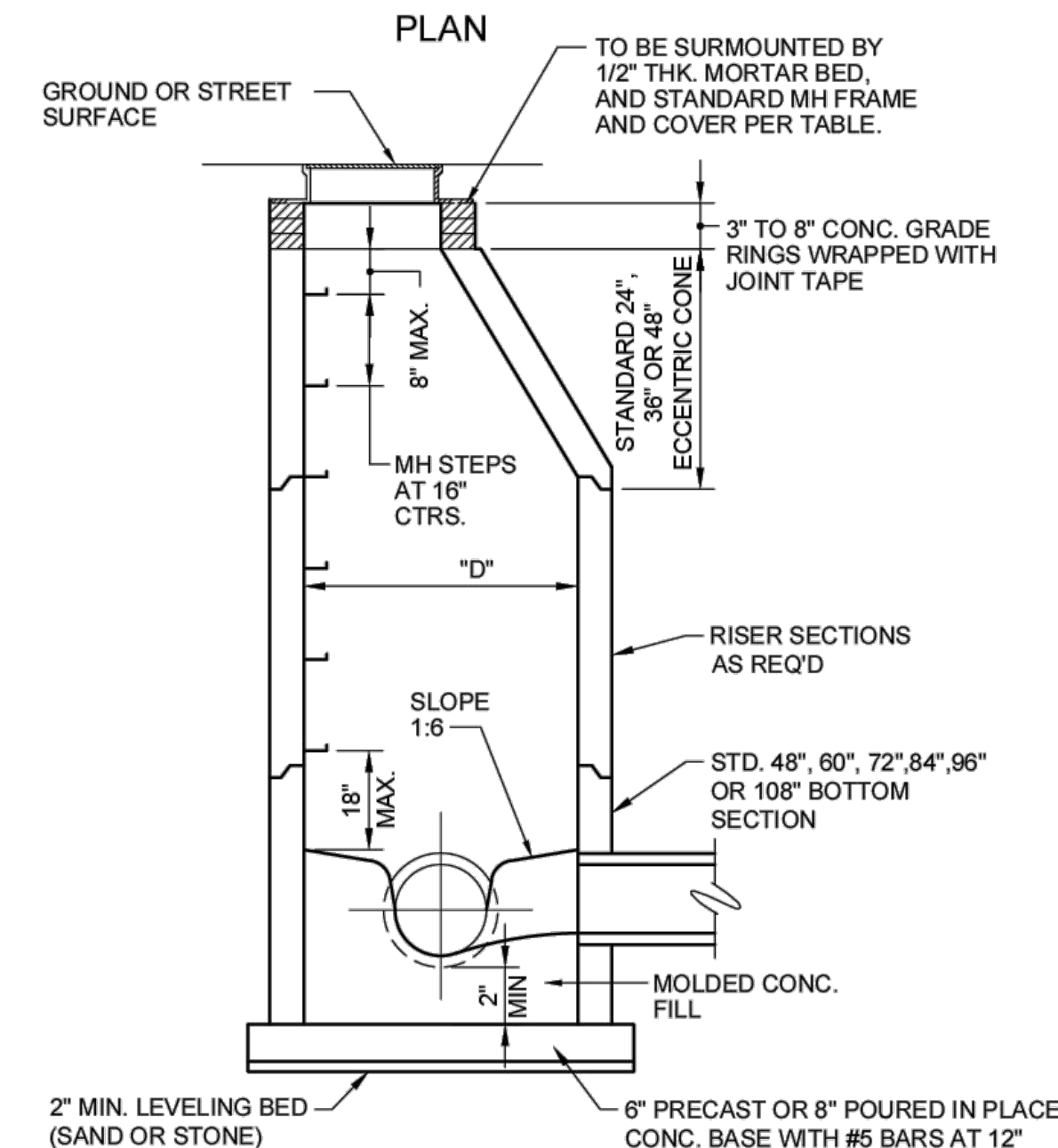
REQUIRED WHEN AN INLET PIPE IS 24" OR MORE ABOVE THE OUTLET PIPE IN A MANHOLE



CASING PIPE

TABLE	
"X"	"Y"(MIN)
6"-8"	20"
10"-12"	24"
14"-15"	30"
18"-21"	36"
24"	42"

NOTE: SEE SPECIFICATIONS FOR ALTERNATE CONST. METHODS

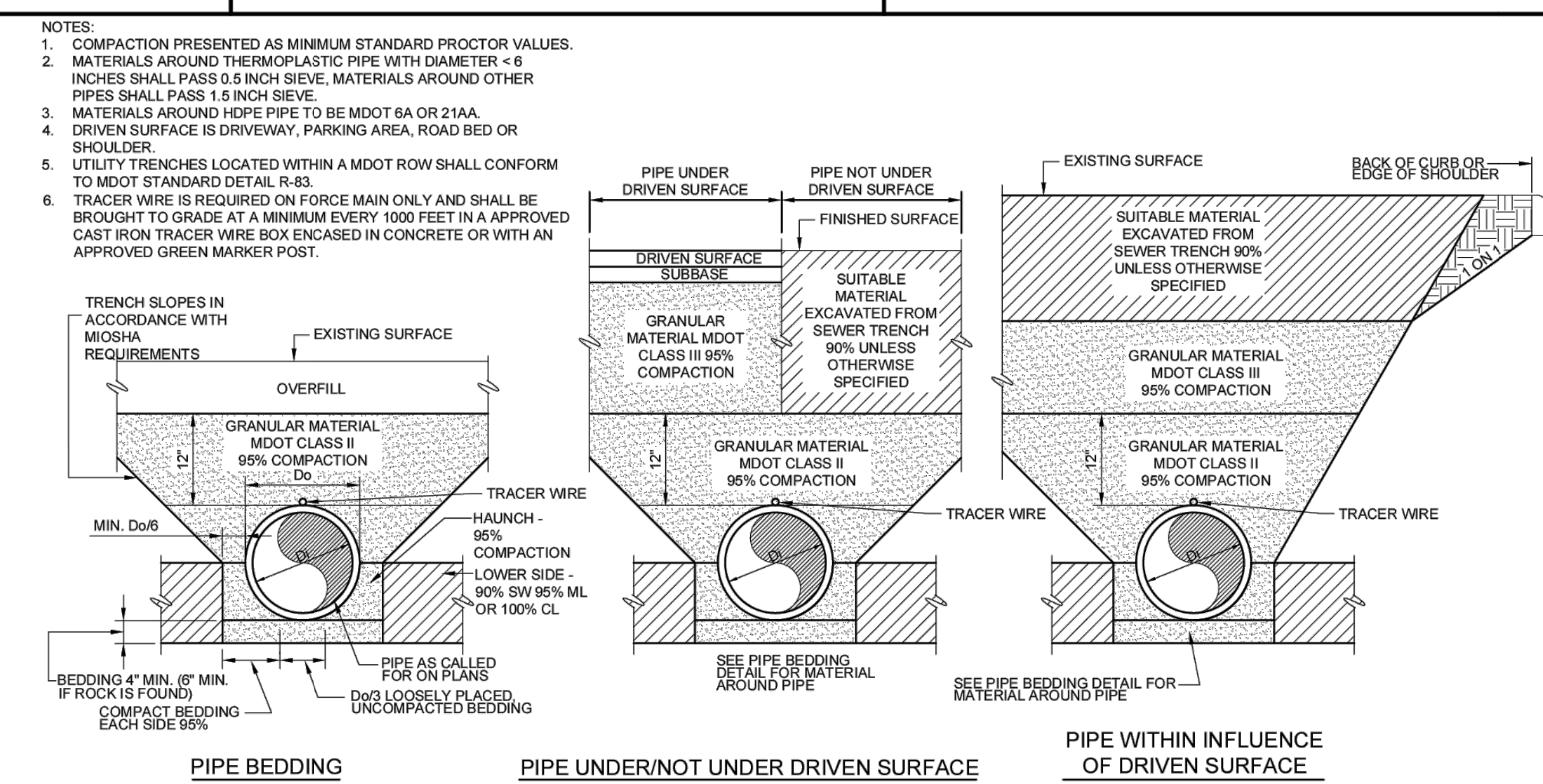


SECTION A-A

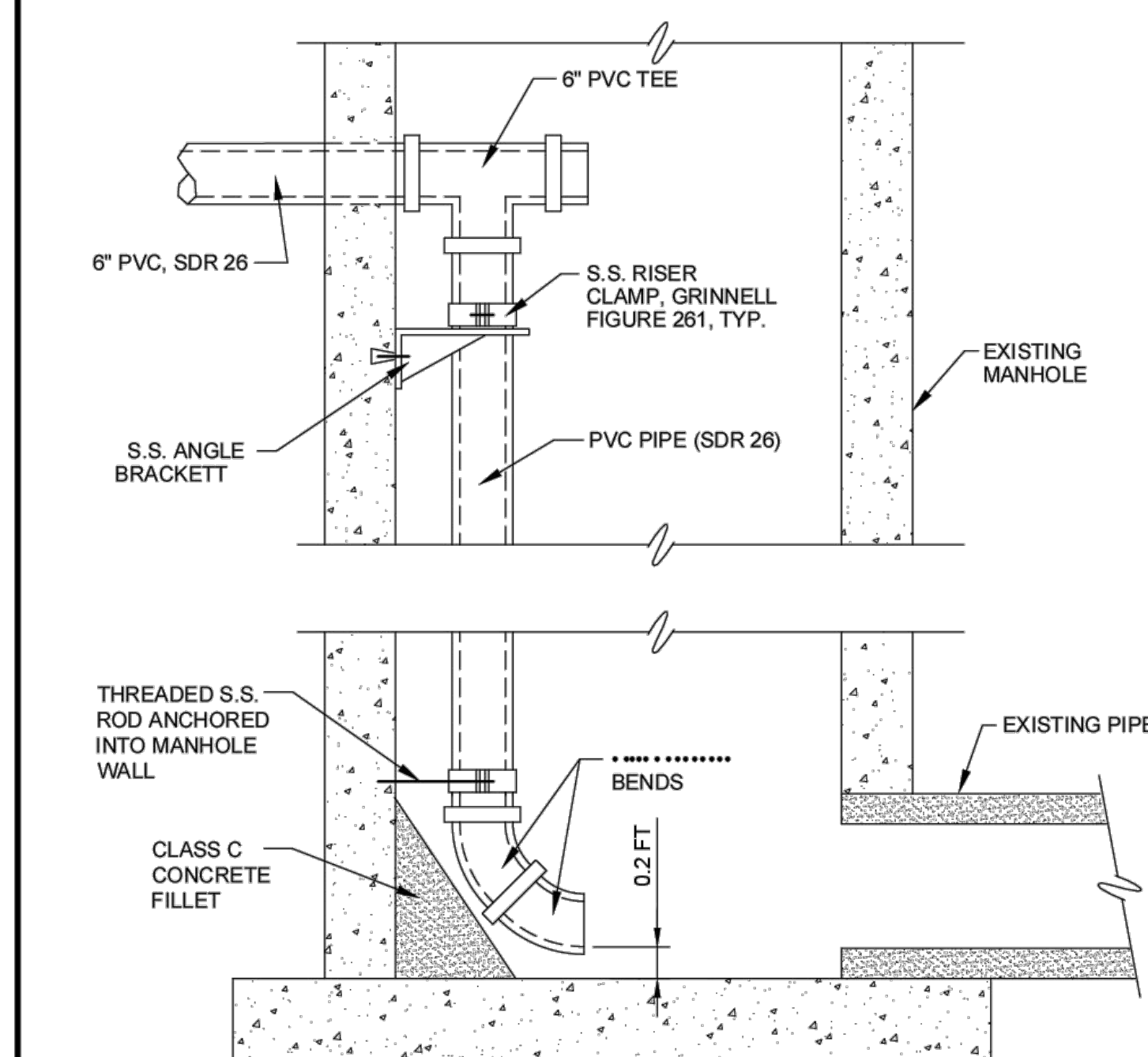
NOTES:
 1. ALL SANITARY MANHOLES TO BE PRECAST REINFORCED CONCRETE WITH PREMIUM JOINTS. SEE SPECIFICATIONS FOR BASE SLAB AND PIPE OPENINGS AND CONNECTIONS.
 2. MANHOLE CONES SHALL BE THE ECCENTRIC TYPE.
 3. PROVIDE 6" OF COMPACTED GRANULAR MATERIAL UNDER ALL PRECAST CONCRETE BASE SLPVC.
 4. FORCE MAINS CONNECT DIRECTLY TO A MANHOLE SHALL BE INSTALLED SO THAT THE ELEVATION OF THE PIPE CROWNS MATCH. THE FORCE MAIN SHALL BE DIRECTED DOWNWARD INTO THE FLOW CHANNEL.
 5. FOR SANITARY SEWERS ALL PIPES SHALL ENTER MANHOLE THROUGH RUBBER BOOTED CONNECTION.

FRAME & COVER FOR SANITARY SEWER MANHOLES				
TYPE	TYPE OF COVER	MANUFACTURER OR EQUAL		
		EAST JORDAN	NEENAH	
MH	SANITARY - SOLID SELF-SEALING	1040.0000	R-1642	
MH	SANITARY - SOLID WATERTIGHT	1040-APT	R-1916-F	
CO	SOLID	1574A	R-1973-A	

STANDARD MANHOLE



PIPE BEDDING TRENCH EXCAVATION & PIPE BEDDING PIPE WITHIN INFLUENCE OF DRIVEN SURFACE



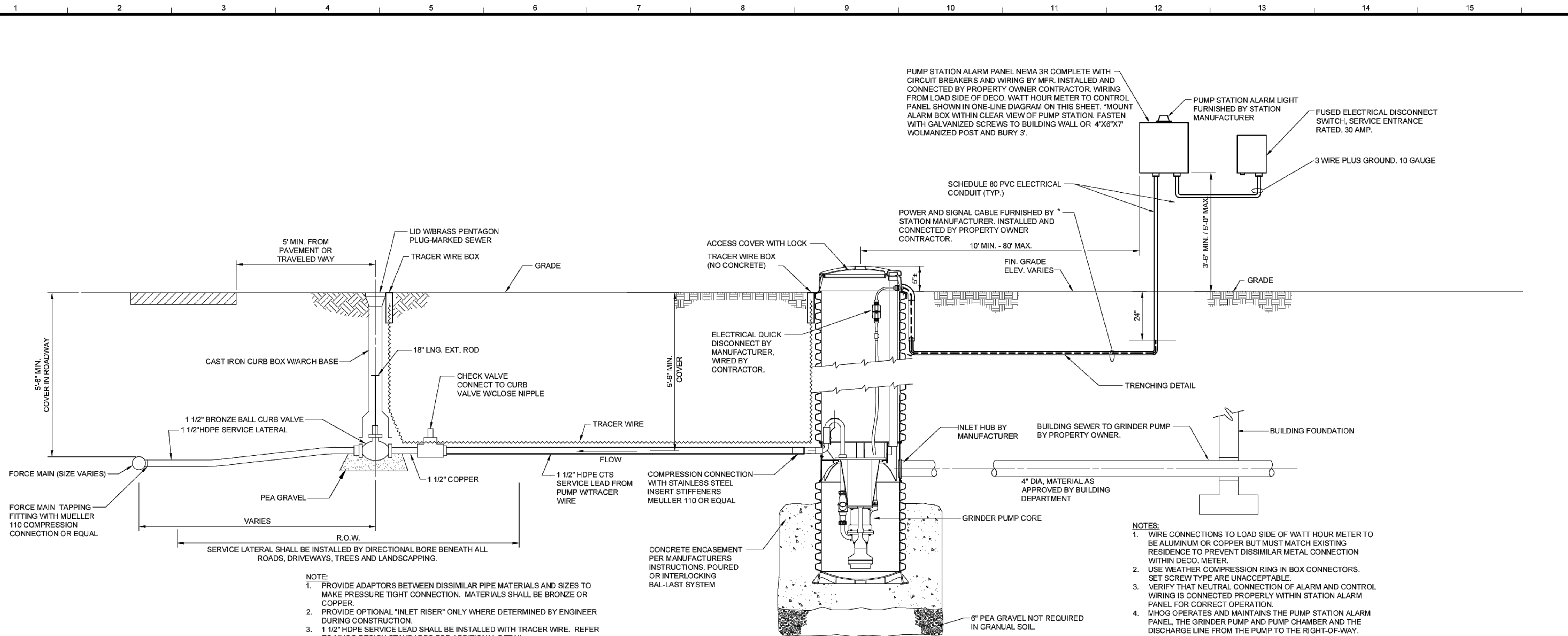
INTERIOR SEWER LATERAL DROP CONNECTION



MARION HOWELL OCOLEA GENOA
 Sewer and Water Authority

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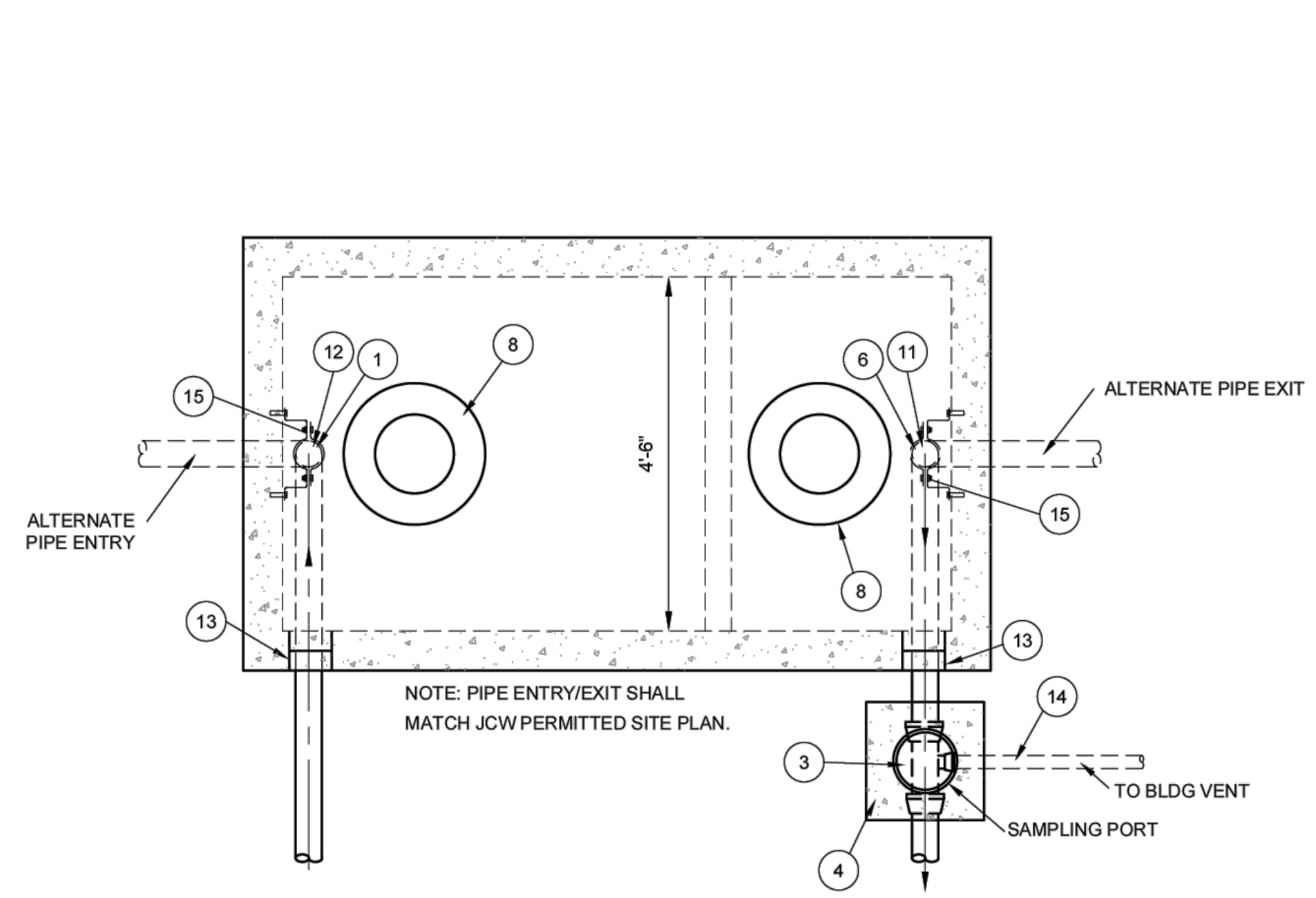
STANDARD DETAILS



SIMPLEX/DUPLEX GRINDER PUMPING STATION
NO SCALE

- NOTES:**
1. WIRE CONNECTIONS TO LOAD SIDE OF WATT HOUR METER TO BE ALUMINUM OR COPPER BUT MUST MATCH EXISTING RESIDENCE TO PREVENT DISSIMILAR METAL CONNECTION WITHIN DECO. METER.
 2. USE WEATHER COMPRESSION RING IN BOX CONNECTORS. SET SCREW TYPE ARE UNACCEPTABLE.
 3. VERIFY THAT NEUTRAL CONNECTION OF ALARM AND CONTROL WIRING IS CONNECTED PROPERLY WITHIN STATION ALARM PANEL FOR CORRECT OPERATION.
 4. MHOG OPERATES AND MAINTAINS THE PUMP STATION ALARM PANEL, THE GRINDER PUMP AND PUMP CHAMBER AND THE DISCHARGE LINE FROM THE PUMP TO THE RIGHT-OF-WAY.
 5. THE LOCATION OF THE GRINDER PUMP MUST BE APPROVED BY MHOG PRIOR TO INSTALLATION. THE GRINDER PUMP MUST BE SERVICEABLE (ACCESSIBLE BY TRUCK) AND FREE FROM OBSTRUCTION.
 6. MHOG MUST BE ONSITE FOR STARTUP OF ALL NEW GRINDER PUMPS.

- NOTE:**
1. PROVIDE ADAPTORS BETWEEN DISSIMILAR PIPE MATERIALS AND SIZES TO MAKE PRESSURE TIGHT CONNECTION. MATERIALS SHALL BE BRONZE OR COPPER.
 2. PROVIDE OPTIONAL "INLET RISER" ONLY WHERE DETERMINED BY ENGINEER DURING CONSTRUCTION.
 3. 1 1/2" HDPE SERVICE LEAD SHALL BE INSTALLED WITH TRACER WIRE. REFER TO MHOG DESIGN STANDARDS FOR ADDITIONAL DETAIL.



GREASE INTERCEPTOR 1000 GALLON
NO SCALE

ITEM	DESCRIPTION
1	4" PVC INLET PIPE*
2	4"x4"x2" TEE WITH 2" PIPE TO BUILDING VENT*
3	THREADED C/O CAP JOSAM 58860 OR APP EQUAL**
4	CONCRETE PAD
5	4"x4"x4" TWO-WAY CLEANOUT TEE*
6	4" PVC OUTLET*
7	4" - 6" GRAVEL BEDDING
8	HEAVY-DUTY CAST IRON FRAME AND COVER ***
9	CONCRETE ADJUSTMENT RINGS
10	REINFORCE AS REQUIRED FOR SERVICE CONDITIONS
11	4" PVC 90° ELBOW*
12	4" PVC TEE*
13	A-LOK OR PRESS SEAL PSX PIPE/WALL CONNECTOR
14	2" VENT PIPE (IDENTIFY PIPE TYPE, CLASS & JOINT AS REQUIRED FOR PROJECT)
15	STAINLESS STEEL PIPE SUPPORT CLAMP ****

* 6" PIPE MAY BE SUBSTITUTED TO MATCH UPSTREAM PIPE DIAMETER.
 ** REFER TO CLEAN OUT DETAIL(S) ON STANDARD DETAIL SHEET.
 *** CLAY & BAILEY 2008 BV OR EQUAL (FROST PROOF COVERS OPTIONAL)
 **** FM STAINLESS FASTENERS #83 OR EQUAL. 1/2"x2-1/2" SS BRACKET W/ 1/2"x1-1/2" FULLY THREADED SS HEX BOLT WITH 1/2" SS WASHER AND 1/2"x1-3/4" SS ANCHORS. CLAMP TO BE FACTORY INSTALLED.

- NOTES:**
1. THREE COVERS AND RISERS SHOWN. TWO COVERS AND RISERS CENTERED OVER UPPER TWO BAFFLES ARE OPTIONAL.
 2. INTERCEPTOR SIZE - 1000 GAL MINIMUM (REVISE THE SIZE DIMENSIONS, AS NEEDED, FOR LARGER CAPACITY INTERCEPTORS)
 3. ALL JOINTS AT THE FRAME & COVER*, CONCRETE ADJUSTMENT RINGS AND THE LID OF THE INTERCEPTOR SHALL BE SEALED WITH A MINIMUM OF TWO (2) ROWS OF 3/4 TO 1 INCH PREFORMED BUTYL JOINT SEALER AND A 6" BUTYL JOINT WRAP AROUND SLEEVE (EZ WRAP). THE ENDS OF THE 6" EZ WRAP SHALL OVERLAP BY 12".
 4. PIPING ON THE INTERIOR OF THE INTERCEPTOR SHALL BE PVC WITH SOLVENT-CEMENTED JOINTS.
 5. GREASE INTERCEPTOR INCLUDING ADJUSTMENT RINGS AND CASTINGS SHALL BE WATER TESTED FOR WATER TIGHTNESS AFTER THE BACKFILL OPERATIONS HAVE BEEN COMPLETED. WATER TESTING SHALL CONSIST OF THE FOLLOWING: 1. SEAL THE TANK, 2. FILL WITH WATER, 3. LET STAND FOR 24 HOURS, 4. REFILL TANK, 5. TANK IS APPROVED IS WATER LEVEL IS HELD FOR 1 HOUR.
 6. ONLY KITCHEN WASTE SHALL BE DIVERTED TO THE GREASE TRAP.



MARION HOWELL OCEOLA GENOA
Sewer and Water Authority

STANDARD DETAILS

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 UPDATED: FEBRUARY 2019
 UPDATED: NOVEMBER 2022

Tuesday, November 22, 2022 11:39:42 AM DRAWING: \\nt.local\ER\Projects\laning\12719\200-12719-00-000\CAD\SheetFiles\Mhog-std.DWG



client:
Chestnut Development, LLC
 3800 Chilson Road
 Howell, Michigan 48843

project:
Chestnut Self Storage

project location:
 Howell Township,
 Michigan
 Burkhart Road

sheet title:
LANDSCAPE PLANTING DETAIL

job no. / issue / revision date:
 LS24.051.04 SPA 4-29-2024

drawn by:
JP
 checked by:
FP
 date:
4-20-2024

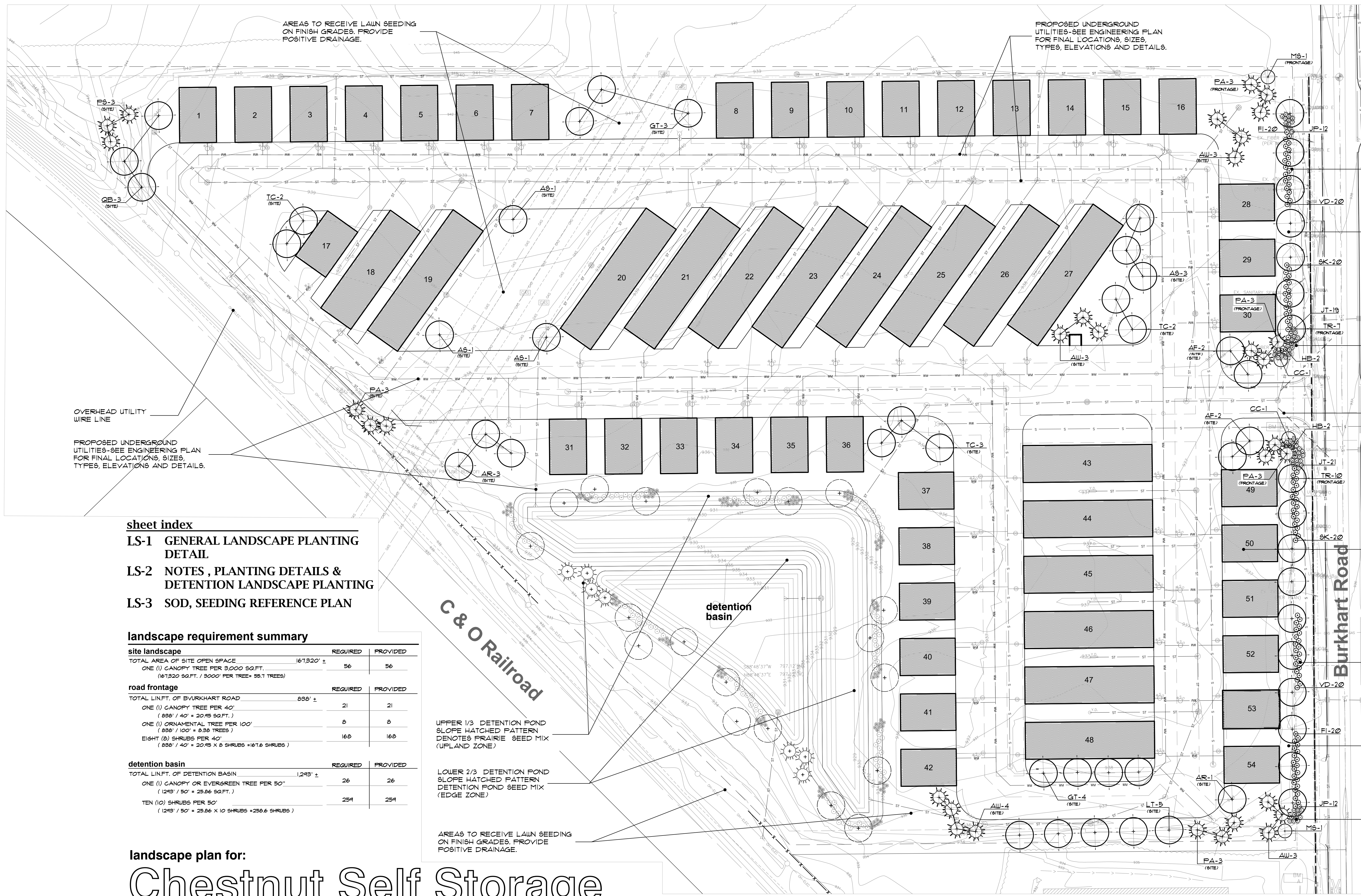
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project no:
LS24.051.04

sheet no:
LS-1 of 3



- sheet index**
- LS-1 GENERAL LANDSCAPE PLANTING DETAIL
 - LS-2 NOTES, PLANTING DETAILS & DETENTION LANDSCAPE PLANTING
 - LS-3 SOD, SEEDING REFERENCE PLAN

landscape requirement summary

site landscape	REQUIRED	PROVIDED
TOTAL AREA OF SITE OPEN SPACE	167,520' ±	
ONE (1) CANOPY TREE PER 3,000 SQ.FT. (167,520 SQ.FT. / 3,000' PER TREE = 55.7 TREES)	56	56
road frontage		
TOTAL LINFT. OF BURKHART ROAD	838' ±	
ONE (1) CANOPY TREE PER 40' (838' / 40' = 20.95 TREES)	21	21
ONE (1) ORNAMENTAL TREE PER 100' (838' / 100' = 8.38 TREES)	8	8
EIGHT (8) SHRUBS PER 40' (838' / 40' = 20.95 X 8 SHRUBS = 167.6 SHRUBS)	168	168
detention basin		
TOTAL LINFT. OF DETENTION BASIN	1,243' ±	
ONE (1) CANOPY OR EVERGREEN TREE PER 50" (1,243' / 50' = 25.86 TREES)	26	26
TEN (10) SHRUBS PER 50" (1,243' / 50' = 25.86 X 10 SHRUBS = 258.6 SHRUBS)	254	254

UPPER 1/3 DETENTION POND SLOPE HATCHED PATTERN DENOTES PRAIRIE SEED MIX (UPLAND ZONE)

LOWER 2/3 DETENTION POND SLOPE HATCHED PATTERN DETENTION POND SEED MIX (EDGE ZONE)

AREAS TO RECEIVE LAWN SEEDING ON FINISH GRADES. PROVIDE POSITIVE DRAINAGE.

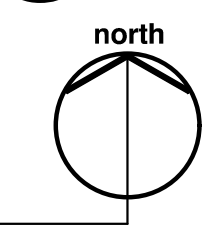
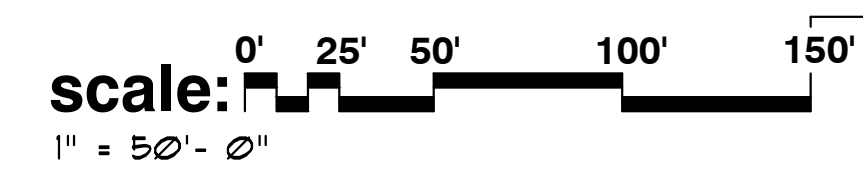
landscape maintenance notes:

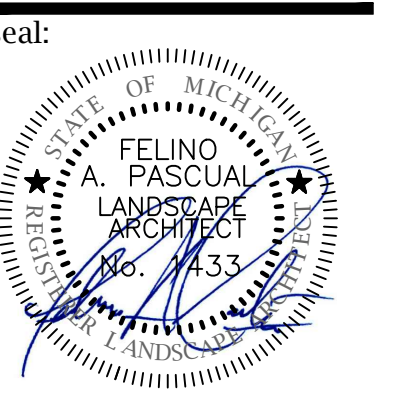
LANDSCAPE MAINTENANCE PROCEDURES AND FREQUENCIES TO BE FOLLOWED SHALL BE SPECIFIED ON THE LANDSCAPE PLAN, ALONG WITH THE MANNER IN WHICH THE EFFECTIVENESS, HEALTH AND INTENDED FUNCTIONS OF THE VARIOUS LANDSCAPE AREAS ON THE SITE WILL BE ENSURED.

- LANDSCAPING SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITION, FREE FROM DEBRIS AND REFUSE.
- PRUNING SHALL BE MINIMAL AT THE TIME OF INSTALLATION, ONLY TO REMOVE DEAD OR DISEASED BRANCHES. SUBSEQUENT PRUNING SHALL ASSURE PROPER MATURATION OF PLANTS TO ACHIEVE THEIR APPROVED PURPOSE.
- ALL DEAD OR DISEASED PLANT MATERIAL SHALL BE REMOVED AND REPLACED WITHIN 90 (90) DAYS AFTER IT DIES OR IN THE NEXT PLANTING SEASON, WHICHEVER OCCURS FIRST. THE PLANTING SEASON FOR DECIDUOUS PLANTS SHALL BE BETWEEN MARCH 15 AND NOVEMBER 15 OR UNTIL THE PREPARED SOIL BECOMES FROZEN. THE PLANTING SEASON FOR EVERGREEN PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1. PLANT MATERIAL INSTALLED TO REPLACE DEAD OR DISEASED MATERIAL SHALL BE AS CLOSE AS PRACTICAL TO THE SIZE OF THE MATERIAL IT IS INTENDED TO REPLACE.

landscape plan for:
Chestnut Self Storage
Howell Township, Michigan

note:
 unless noted otherwise, numerical value on landscape quantities specified on plan take precedence over graphic representation.





client:
Chestnut Development, LLC
 3800 Chilson Road
 Howell, Michigan 48843

project:

Chestnut Self Storage

project location:

Howell Township, Michigan
 Burkhart Road

sheet title:
PLANT DETAILS AND LANDSCAPE NOTES

job no. / issue / revision date:
 LS24.051.04 SPA 4-29-2024

drawn by:
JP
 checked by:
FP
 date:
4-20-2024

notice:
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project no:
LS24.051.04

sheet no:

general landscape notes:

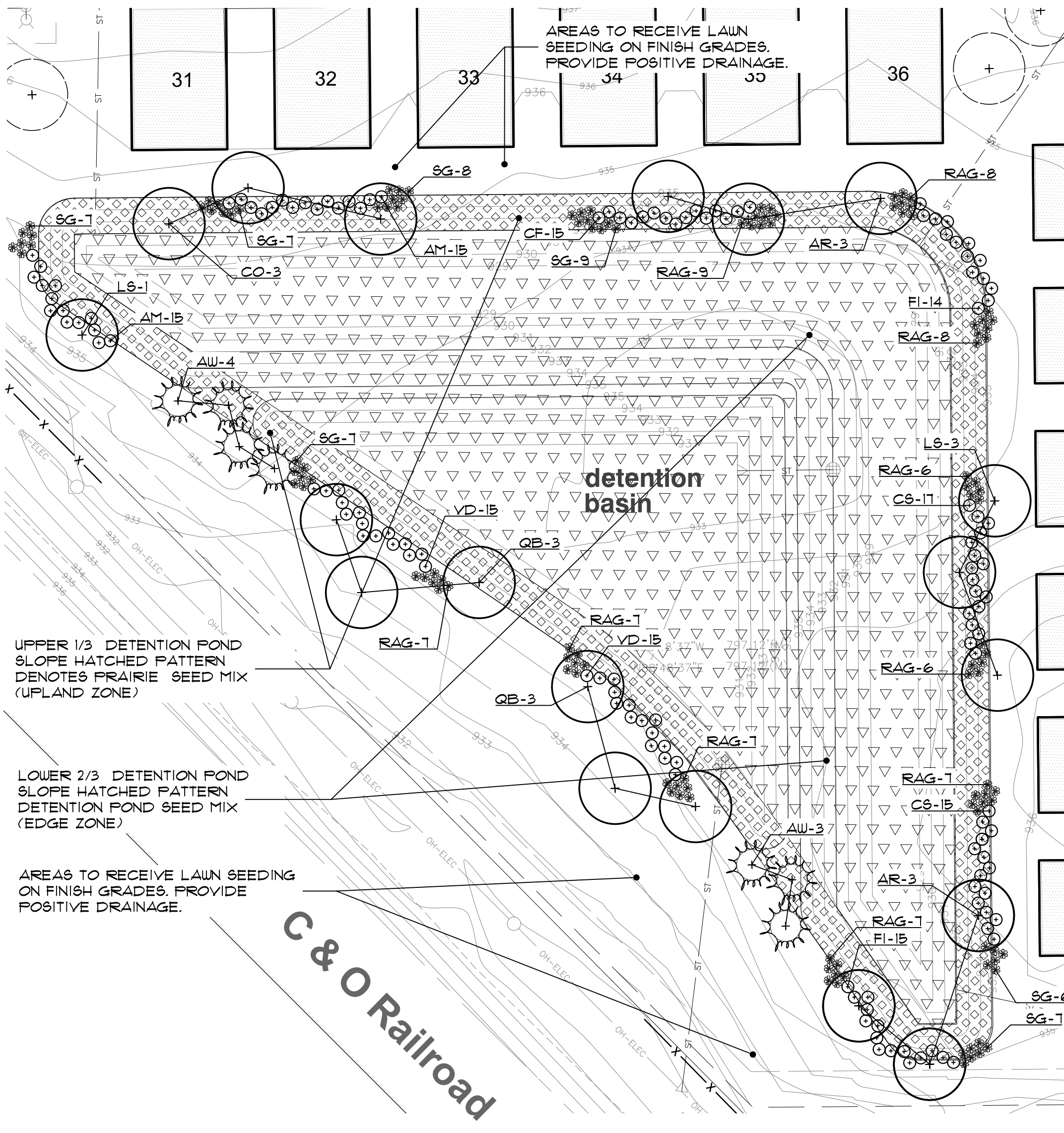
- LANDSCAPE CONTRACTOR SHALL VISIT THE SITE, INSPECT EXISTING CONDITIONS, REVIEW PROPOSED PLANTINGS AND RELATED WORK, CONTACT THE OWNER AND/OR LANDSCAPE ARCHITECT WITH ANY CONCERNS OR DISCREPANCY BETWEEN THE PLAN, PLANT MATERIAL LIST, AND/OR SITE CONDITIONS.
- PRIOR TO BEGINNING OF CONSTRUCTION ON ANY WORK, CONTRACTORS SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES, GAS, ELECTRIC, TELEPHONE, CABLE TO BE LOCATED BY CONTACTING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. COORDINATE ALL RELATED WORK ACTIVITIES WITH OTHER TRADES AND REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER PRIOR TO COMMENCING.
- NUMERICAL VALUE ON THE LANDSCAPE QUANTITIES SPECIFIED ON THE PLAN TAKE PRECEDENCE OVER GRAPHIC REPRESENTATION. VERIFY ANY CONCERN/DISCREPANCY WITH LANDSCAPE ARCHITECT.
- ALL CONSTRUCTION AND PLANT MATERIAL LOCATION TO BE ADJUSTED ON SITE IF NECESSARY.
- ALL SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED BY HOWELL TOWNSHIP AND LANDSCAPE ARCHITECT IN WRITING.
- ALL LARGE TREES AND EVERGREENS TO BE STAKED, GUYED AND WRAPPED AS DETAIL SHOWN ON PLAN.
- PLANT BEDS TO BE DREESSED WITH MIN. 4" OF FINELY DOUBLE SHREDDED HARDBARK MULCH.
- DIG SHRUB FITS 1' LARGER THAN SHRUB ROOT BALLS AND TREE FITS 2' LARGER THAN ROOT BALL. BACK FILL WITH ONE PART TOP SOIL AND ONE PART SOIL FROM EXCAVATED PLANTING HOLE.
- REMOVE ALL TUINE, WIRE AND BURLAP FROM TREE AND SHRUB EARTH BALLS, AND FROM TREE TRUNKS. 4" THICK BARK MULCH FOR TREES IN 4" DIA. CIRCLE WITH 3" PULLED AWAY FROM TRUNK. 4" THICK BARK MULCH FOR SHRUBS AND 2" THICK BARK MULCH FOR PERENNIALS.
- PLANT MATERIAL QUALITY & INSTALLATION SHALL BE IN ACCORDANCE WITH THE CURRENT AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS.
- PROVIDE SOD FOR ALL NEW AND DISTURBED LAWN AREAS UNLESS NOTED OTHERWISE. NO FEAT SOD.
- ALL PLANTING AREAS TO BE PREPARED WITH APPROPRIATE SOIL MIXTURES AND FERTILIZER BEFORE PLANT INSTALLATION.
- PLANT TREES AND SHRUBS GENERALLY NO CLOSER THEN THE FOLLOWING DISTANCES FROM SIDEWALKS, CURBS AND PARKING STALLS:
 - SHADE TREES 5 FT.
 - ORNAMENTAL AND EVERGREEN TREES 10 FT.
 - SHRUBS THAT ARE LESS THAN 1 FOOT TALL AND WIDE AT MATURITY 2 FT.
- NO TREES OR EVERGREENS TO BE INSTALLED OVER ANY PROPOSED OR EXISTING UTILITY LINES AS SHOWN ON THE OVERALL LANDSCAPE PLAN. SEE ENGINEERING PLANS FOR LOCATION AND DETAILS.
- ALL NEW LAWN AREAS AND NEW LANDSCAPE BEDS TO BE FULLY IRRIGATED WITH A AUTOMATIC UNDERGROUND SYSTEMS. IRRIGATION SYSTEM TO HAVE SEPARATE ZONES FOR LAWN AREAS, PARKING ISLANDS, AND SHRUB BEDS WITH DIFFERENT CONTROL. MOISTURE LEVEL ADJUSTMENT PER ZONE AS REQUIRED. IRRIGATION PLAN TO BE PROVIDED DURING FINAL SITE PLAN APPROVAL.
- UNLESS NOTED OTHERWISE, LANDSCAPE BEDS ADJACENT TO LAWN TO RECIEVE EDGING. EDGING SHALL BE 4" X 1/8" METAL (FINISH BLACK OR GREEN) OR APPROVED EQUAL AND TO BE INSTALLED WITH HORIZONTAL METAL STAKES AT 32" O.C. OR PER MANUFACTURER'S SPECIFICATION.
- ALL NEW PARKING ISLANDS AND LANDSCAPE BEDS ADJACENT AND NEXT TO BUILDING SHALL BE EXCAVATED OF ALL BUILDING MATERIALS AND POOR SOILS A MIN. OF 16"-18" DEPTH. BACK FILL WITH GOOD, MEDIUM TEXTURED PLANTING SOILS. ADD A MIN. 4" OF TOPSOIL OVERFILL TO FINISH GRADE. PROVIDE POSITIVE DRAINAGE.
- WATERING OF ALL PLANTS AND TREES TO BE PROVIDED IMMEDIATELY AND MULCHING WITHIN 24 HOURS AFTER INSTALLATION.
- ALL TREE PITS TO BE TESTED FOR PROPER DRAINAGE PRIOR TO TREE PLANTING. PROVIDE APPROPRIATE DRAINAGE SYSTEM AS REQUIRED IF THE TREE PIT DOES NOT DRAIN SUFFICIENTLY.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE PLANT MATERIALS AND IRRIGATION INSTALLATION FOR A PERIOD OF TWO YEAR BEGINNING AFTER THE COMPLETION OF LANDSCAPE INSTALLATION DATE APPROVED BY THE CITY OR LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPLACE DURING AND AT THE END OF THE GUARANTEE PERIOD, ANY DEAD OR UNACCEPTABLE PLANTS, AS DETERMINED BY THE TOWNSHIP OR LANDSCAPE ARCHITECT, WITHOUT COST TO THE OWNER.

plant material list (general)

key	quant. LS-1A	botanical name	common name	size	comments
DECIDUOUS AND EVERGREEN TREES					
QB	3	QUERCUS BI-COLOR	WHITE SWAMP OAK	2 1/2" BB	
TR	11	TILIA AMERICANA 'REDMOND'	REDMOND LINDEN	2 1/2" BB	
TC	1	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	2 1/2" BB	
LT	5	LIRIODENDRON TULIPIFERA	TULIPTREE	2 1/2" BB	
AR	4	ACER R. 'FRANKSRED'	RED SUNSET RED MAPLE	2 1/2" BB	
AF	4	ACER X FREEMANII 'JEFFERSRED'	AUTUMN BLAZE RED MAPLE	2 1/2" BB	
AS	6	ACER SACCHARUM	SUGAR MAPLE	2 1/2" BB	
GT	1	GLEDITSIA TRI. INERMIS 'SKYCOLE'	SKYLINE HONEY LOCUST	2 1/2" BB	
PERENNIALS AND GRASSES					
MS	2	MALUS SARGENTII	SARGENT CRABAPPLE	2" BB	
CC	5	CERCIS CANADENSIS	EASTERN REDBUD	2" BB	
SHRUBS					
AU	13	ABIES CONCOLOR	CONCOLOR FIR	8' BB	
PS	3	PINUS STROBUS	EASTERN WHITE PINE	8' BB	
PA	15	FICIA ABIES	NORWAY SPRUCE	8' BB	
SHRUBS					
JT	40	JUNIPERUS S. 'TAMARISAFOLIA'	TAM'S JUNIPER	30" CONT.	42" O.C. SPACING
HB	4	HYDRANGEA PANICULATA 'ILVOBO'	BOBO HYDRANGEA	30" CONT.	42" O.C. SPACING
FI	20	FORSYTHIA X INTERMEDIA	BORDER FORSYTHIA	3" BB	60" O.C. SPACING
JP	24	JUNIPERUS CHINENSIS 'PFITZERIANA COMPACTA'	COMPACT PFITZER COMPACT	30" CONT.	42" O.C. SPACING
VD	40	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	3" BB	60" O.C. SPACING
SK	40	SYRINGA PATULA 'MISS KIM'	MISS KIM DWARF LILAC	3" BB	60" O.C. SPACING
PERENNIALS AND GRASSES					
CKF	-	CALAMAGROSTIS X.A. 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	3" CONT.	48" O.C. SPACING
M8M	-	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT JAPANESE SILVER GRASS	3" CONT.	48" O.C. SPACING

plant material list (detention)

key	quant. LS-2A	botanical name	common name	size	comments
DECIDUOUS AND EVERGREEN TREES					
QB	6	QUERCUS BI-COLOR	WHITE SWAMP OAK	2 1/2" BB	
LS	4	LIQUIDAMBAR STYRACIFLUA	AMERICAN SWEETGUM	2 1/2" BB	
CO	3	CELTIS OCCIDENTALIS	COMMON HACKBERRY	2 1/2" BB	
AR	6	ACER RUBRUM	RED MAPLE	2 1/2" BB	
SHRUBS					
AU	1	ABIES CONCOLOR	CONCOLOR FIR	8' BB	
SHRUBS					
VD	30	VIBURNUM DENTATUM	ARROW WOOD VIBURNUM	30" CONT.	60" SPACING O.C.
FI	43	FORSYTHIA X INTERMEDIA	BORDER FORSYTHIA	30" CONT.	60" SPACING O.C.
CS	32	CORNUS STOLONIFERA	REDTIG DOGWOOD	30" CONT.	60" SPACING O.C.
CF	15	CORNUS FLAVIRAMEA	YELLOWTIG DOGWOOD	30" CONT.	60" SPACING O.C.
RAG	12	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	24" CONT.	42" SPACING O.C.
AM	30	ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA'	RED CHOCBERRY	30" CONT.	60" SPACING O.C.
SG	51	SPIRAEA J. 'GOLDMOUND'	GOLDMOUND SPIREA	24" CONT.	42" SPACING O.C.

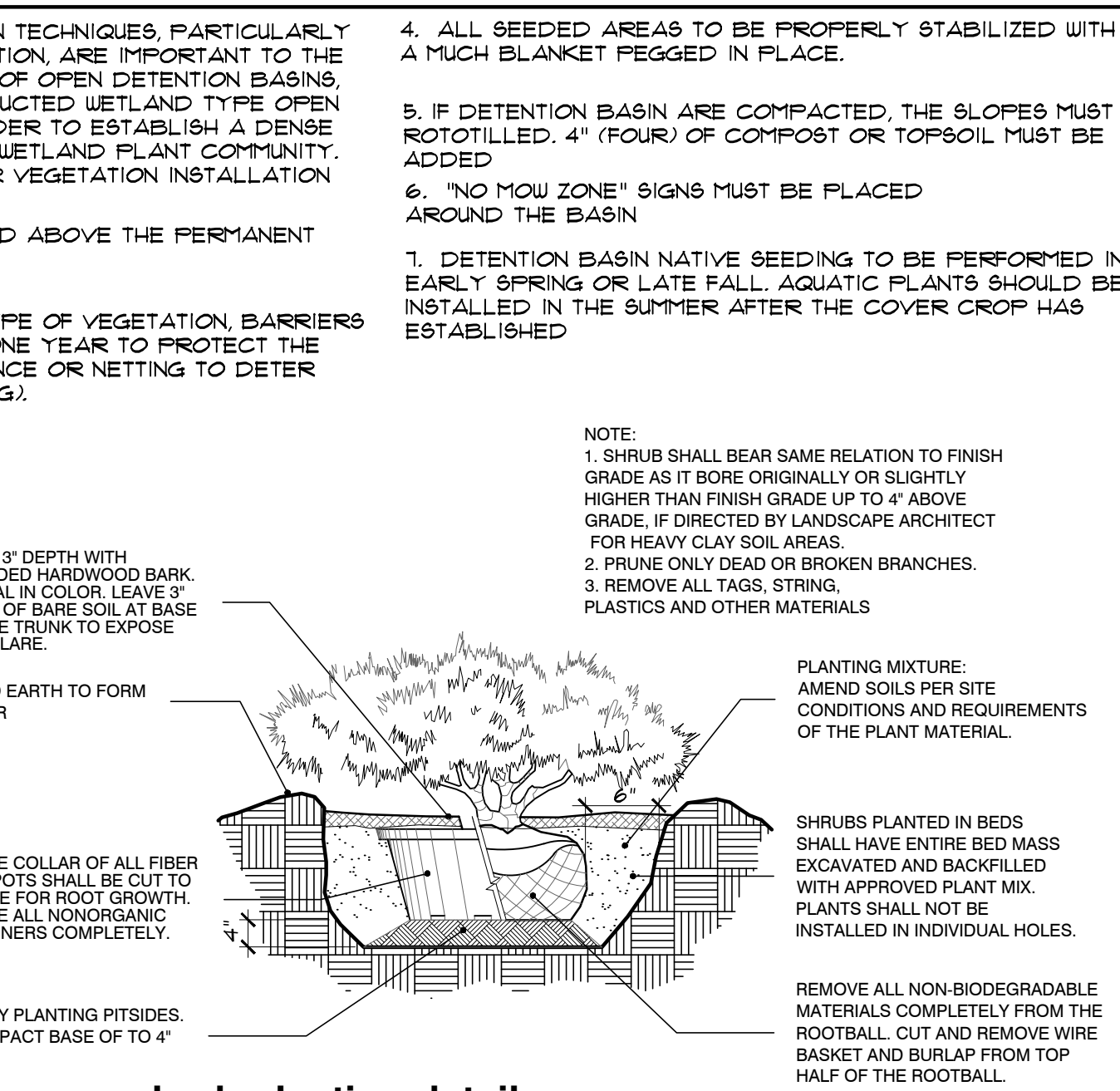
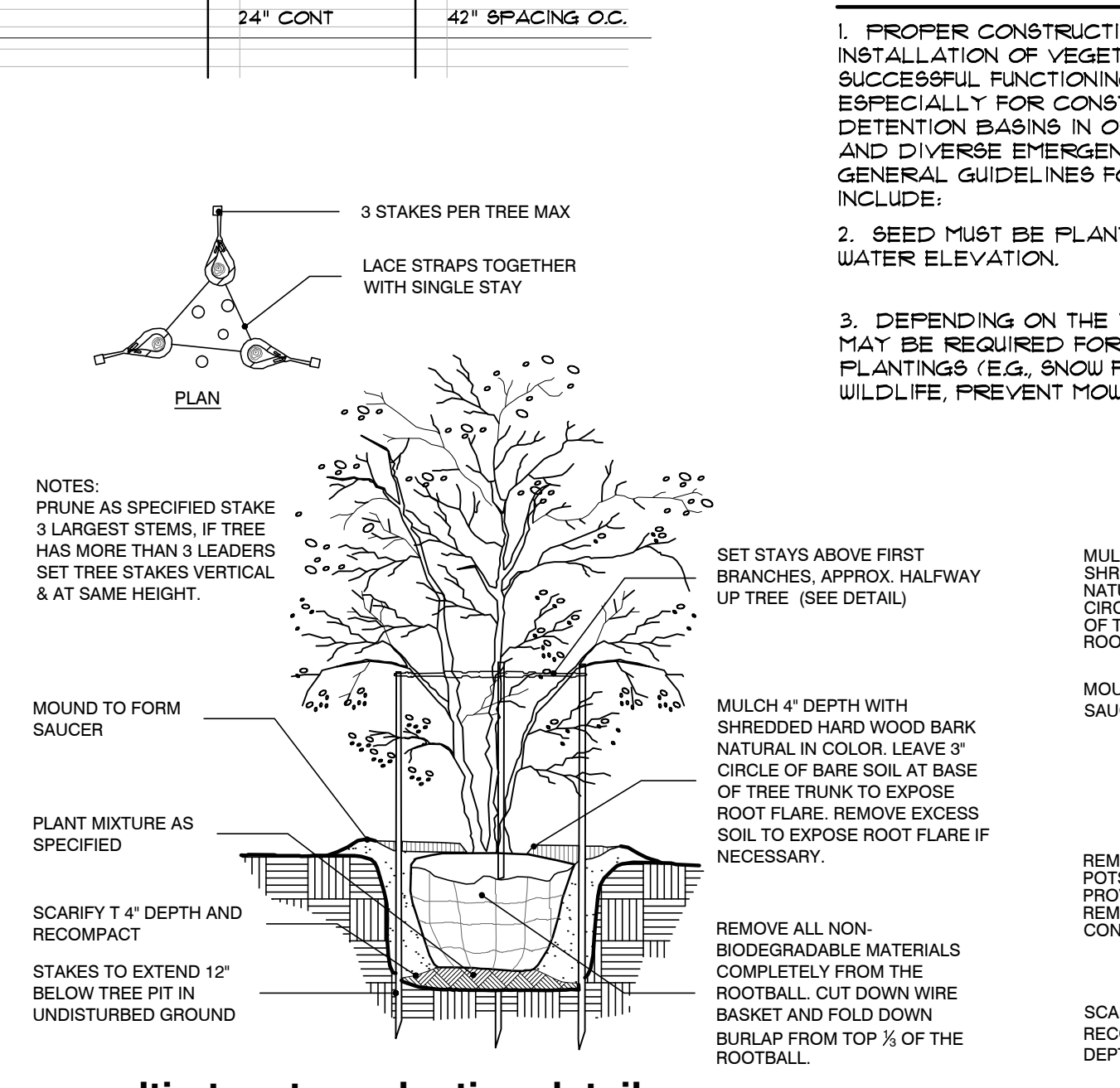
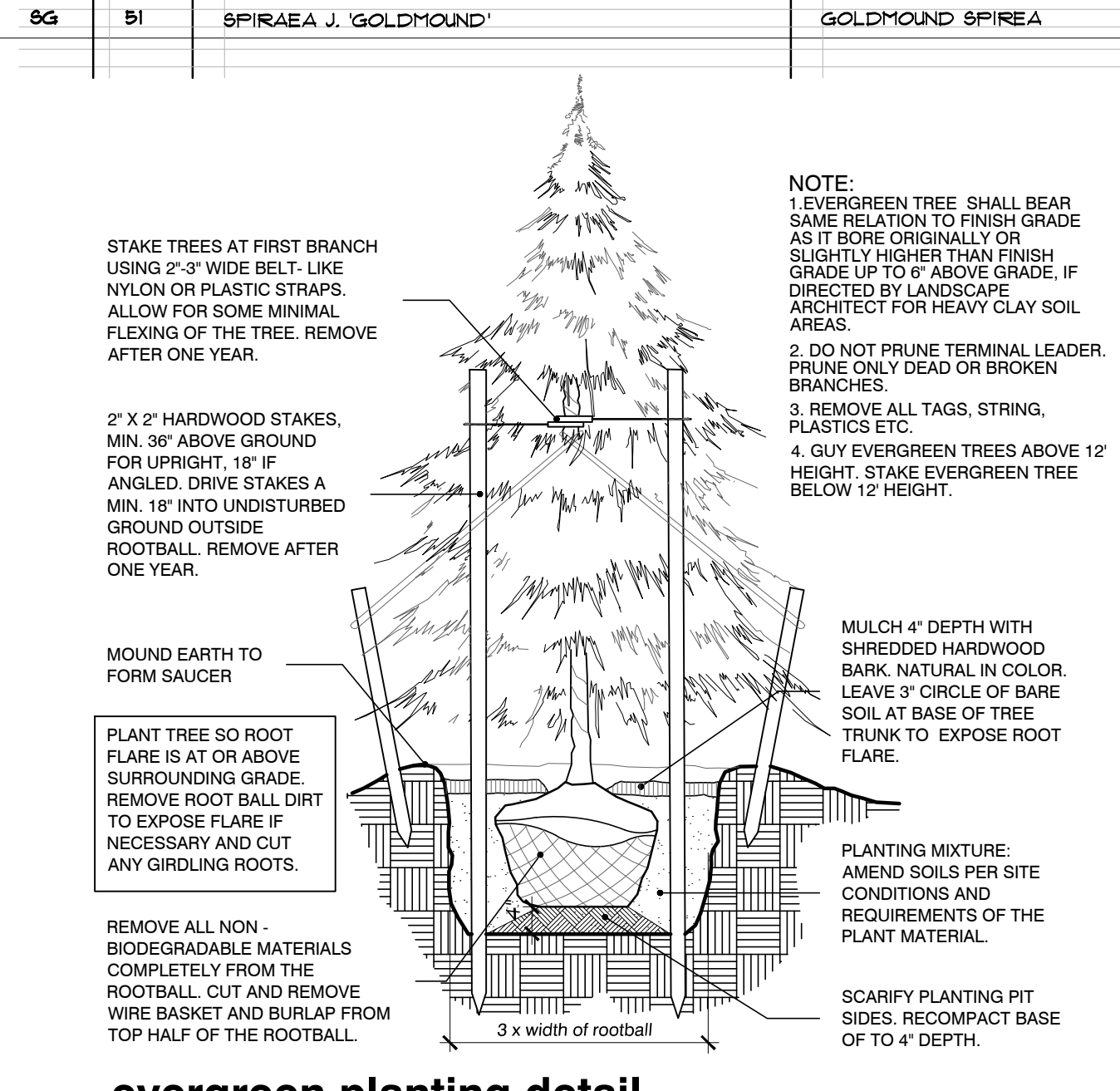
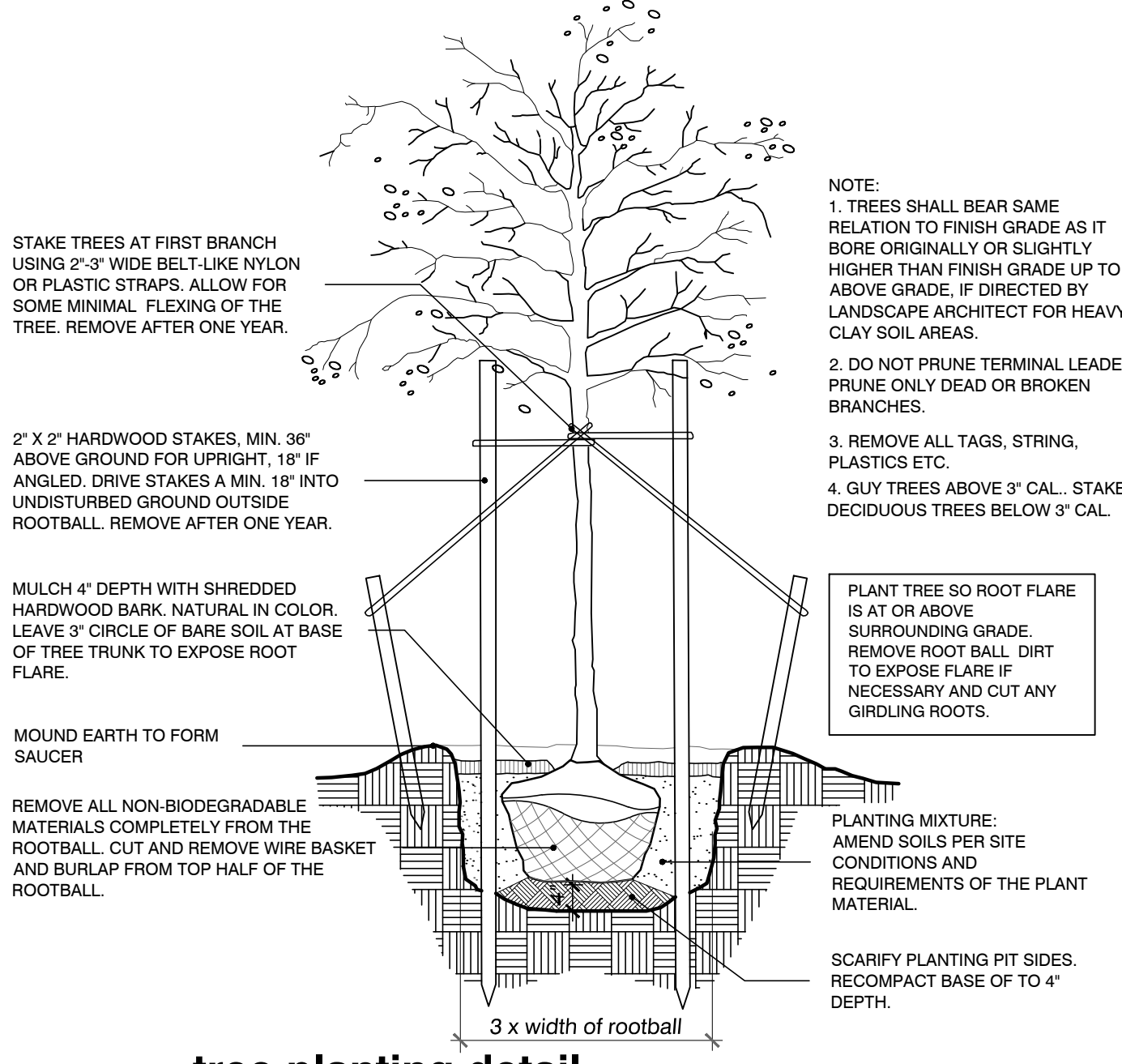


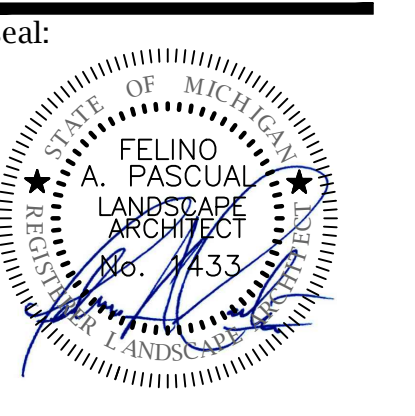
(2A) detention landscape planting plan
 SCALE: 1" = 40'-0"

detention basin	REQUIRED	PROVIDED
TOTAL LIN.FT. OF DETENTION BASIN	1,243' ±	
ONE (1) CANOPY OR EVERGREEN TREE PER 50'	26	26
(1243' / 50' = 25.86 SQ.FT.)		
TEN (10) SHRUBS PER 50'	254	254
(1243' / 50' = 25.86 X 10 SHRUBS = 258.6 SHRUBS)		

basin construction notes

- PROPER CONSTRUCTION TECHNIQUES, PARTICULARLY INSTALLATION OF VEGETATION, ARE IMPORTANT TO THE SUCCESSFUL FUNCTIONING OF OPEN DETENTION BASINS, ESPECIALLY FOR CONSTRUCTED WETLAND TYPE OPEN DETENTION BASINS IN ORDER TO ESTABLISH A DENSE AND DIVERSE EMERGENT WETLAND PLANT COMMUNITY. GENERAL GUIDELINES FOR VEGETATION INSTALLATION INCLUDE:
 - SEED MUST BE PLANTED ABOVE THE PERMANENT WATER ELEVATION.
 - IF DETENTION BASIN ARE COMPACTED, THE SLOPES MUST BE ROTOTILLED. 4" (FOUR) OF COMPOST OR TOPSOIL MUST BE ADDED AROUND THE BASIN.
 - DETENTION BASIN NATIVE SEEDING TO BE PERFORMED IN EARLY SPRING OR LATE FALL. AQUATIC PLANTS SHOULD BE INSTALLED IN THE SUMMER AFTER THE COVER CROP HAS ESTABLISHED.
- ALL SEEDING AREAS TO BE PROPERLY STABILIZED WITH A MICH BLANKET PEGGED IN PLACE.
- IF DETENTION BASIN ARE COMPACTED, THE SLOPES MUST BE ROTOTILLED. 4" (FOUR) OF COMPOST OR TOPSOIL MUST BE ADDED AROUND THE BASIN.
- "NO MOW ZONE" SIGNS MUST BE PLACED AROUND THE BASIN.





client:
Chestnut Development, LLC
 3800 Chilson Road
 Howell, Michigan 48843

project:
Chestnut Self Storage

project location:
 Howell Township,
 Michigan
 Burkhart Road

sheet title:
SOD AND SEEDING REFERENCE PLAN

job no. / issue / revision date:
 LS24.051.04 SPA 4-29-2024

drawn by:
JP
 checked by:
FP
 date:
4-20-2024

notice:
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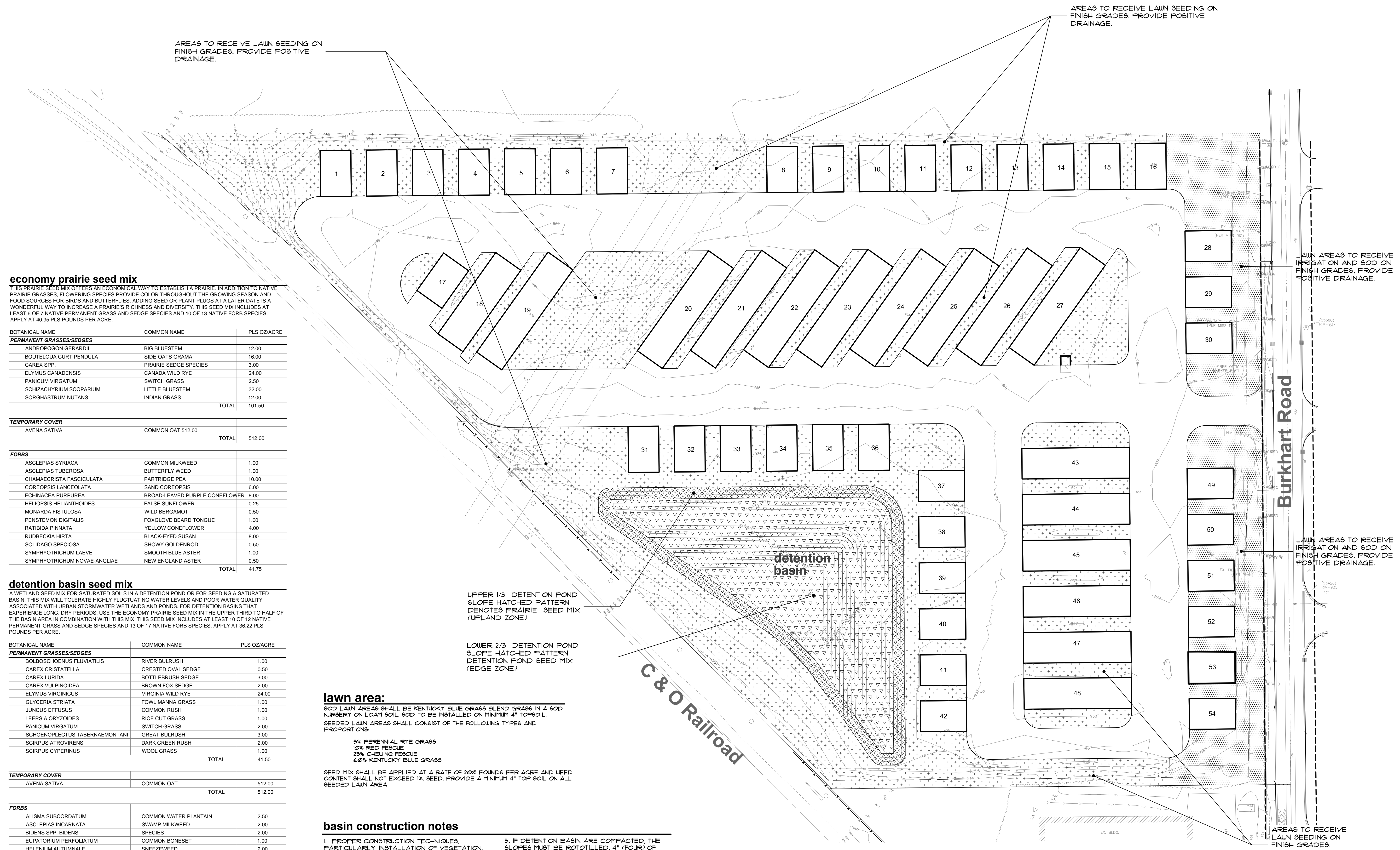
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The location and elevations of existing underground utilities as shown on this drawing are only approximate. No guarantee is either expressed or implied as to the completeness of accuracy. Contractor shall be exclusively responsible for determining the exact location and elevation prior to the start of construction.

project no:
LS24.051.04

sheet no:
LS-3 of 3



economy prairie seed mix
 THIS PRAIRIE SEED MIX OFFERS AN ECONOMICAL WAY TO ESTABLISH A PRAIRIE. IN ADDITION TO NATIVE PRAIRIE GRASSES, FLOWERING SPECIES PROVIDE COLOR THROUGHOUT THE GROWING SEASON AND FOOD SOURCES FOR BIRDS AND BUTTERFLIES. ADDING SEED OR PLANT PLUGS AT A LATER DATE IS A WONDERFUL WAY TO INCREASE A PRAIRIE'S RICHNESS AND DIVERSITY. THIS SEED MIX INCLUDES AT LEAST 6 OF 7 NATIVE PERMANENT GRASS AND SEDGE SPECIES AND 10 OF 13 NATIVE FORB SPECIES. APPLY AT 40.95 PLS POUNDS PER ACRE.

BOTANICAL NAME	COMMON NAME	PLS OZ/ACRE
PERMANENT GRASSES/SEDGES		
ANDROPOGON GERARDII	BIG BLUESTEM	12.00
BOUTELOUJA CURTIPENDULA	SIDE-OATS GRAMA	16.00
CAREX SPP.	PRAIRIE SEDGE SPECIES	3.00
ELYMUS CANADENSIS	CANADA WILD RYE	24.00
PANICUM VIRGATUM	SWITCH GRASS	2.50
SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	32.00
SORGHASTRUM NUTANS	INDIAN GRASS	12.00
	TOTAL	101.50

TEMPORARY COVER		
AVENA SATIVA	COMMON OAT 512.00	
	TOTAL	512.00

FORBS		
ASCLEPIAS SYRIACA	COMMON MILKWEED	1.00
ASCLEPIAS TUBEROSA	BUTTERFLY WEED	1.00
CHAMAECRISTA FASCICULATA	PARTRIDGE PEA	10.00
COREOPSIS LANCEOLATA	SAND COREOPSIS	6.00
ECHINACEA PURPUREA	BROAD-LEAVED PURPLE CONEFLOWER	8.00
HELIOPSIS HELIANTHOIDES	FALSE SUNFLOWER	0.25
MONARDA FISTULOSA	WILD BERGAMOT	0.50
PENSTEMON DIGITALIS	FOXGLOVE BEARD TONGUE	1.00
RATIBIDA PINNATA	YELLOW CONEFLOWER	4.00
RUDBECKIA HIRTA	BLACK-EYED SUSAN	8.00
SOLIDAGO SPECIOSA	SHOWY GOLDENROD	0.50
SYMPHYOTRICHUM LAEVE	SMOOTH BLUE ASTER	1.00
SYMPHYOTRICHUM NOVAE-ANGLIAE	NEW ENGLAND ASTER	0.50
	TOTAL	41.75

detention basin seed mix
 A WETLAND SEED MIX FOR SATURATED SOILS IN A DETENTION POND OR FOR SEEDING A SATURATED BASIN. THIS MIX WILL TOLERATE HIGHLY FLUCTUATING WATER LEVELS AND POOR WATER QUALITY ASSOCIATED WITH URBAN STORMWATER WETLANDS AND PONDS. FOR DETENTION BASINS THAT EXPERIENCE LONG, DRY PERIODS, USE THE ECONOMY PRAIRIE SEED MIX IN THE UPPER THIRD TO HALF OF THE BASIN AREA IN COMBINATION WITH THIS MIX. THIS SEED MIX INCLUDES AT LEAST 10 OF 12 NATIVE PERMANENT GRASS AND SEDGE SPECIES AND 13 OF 17 NATIVE FORB SPECIES. APPLY AT 36.22 PLS POUNDS PER ACRE.

BOTANICAL NAME	COMMON NAME	PLS OZ/ACRE
PERMANENT GRASSES/SEDGES		
BOLBOSCHOENUS FLUVIATILIS	RIVER BULRUSH	1.00
CAREX CRISTATELLA	CRESTED OVAL SEDGE	0.50
CAREX LURIDA	BOTTLEBRUSH SEDGE	3.00
CAREX VULPINODEA	BROWN FOX SEDGE	2.00
ELYMUS VIRGINICUS	VIRGINIA WILD RYE	24.00
GLYCERIA STRATA	FOWL MANNA GRASS	1.00
JUNCOUS EFFUSUS	COMMON RUSH	1.00
LEERSIA ORYZOIDES	RICE CUT GRASS	1.00
PANICUM VIRGATUM	SWITCH GRASS	2.00
SCHOENOPLECTUS TABERNAEMONTANI	GREAT BULRUSH	3.00
SCIRPUS ATROVIRENS	DARK GREEN RUSH	2.00
SCIRPUS CYPERINUS	WOOL GRASS	1.00
	TOTAL	41.50

TEMPORARY COVER		
AVENA SATIVA	COMMON OAT	512.00
	TOTAL	512.00

FORBS		
ALISMA SUBCORDATUM	COMMON WATER PLANTAIN	2.50
ASCLEPIAS INCARNATA	SWAMP MILKWEED	2.00
BIDENS SPP. BIDENS	SPECIES	2.00
EUPATORIUM PERFORIATUM	COMMON BONESET	1.00
HELIANIUM AUTUMNALE	SNEEZEWEED	2.00
IRIS VIRGINICA V. SHIREVEI	BLUE FLAG	4.00
LYCOPUS AMERICANUS	COMMON WATER HOREHOUND	0.50
MIMULUS RINGENS	MONKEY FLOWER	1.00
PENTHORUM SEDOIDES	DITCH STONECROP	0.50
PERISCARIA SPP.	PINKWEED SPECIES	2.00
RUDBECKIA SUBTOMENTOSA	SWEET BLACK-EYED SUSAN	1.00
RUDBECKIA TRILOBA	BROWN-EYED SUSAN	1.50
SAGITTARIA LATIFOLIA	COMMON ARROWHEAD	1.00
SENNA HEBECARPA	WILD SENNA	2.00
SYMPHYOTRICHUM LANCEOLATUM	PANICLED ASTER	0.50
SYMPHYOTRICHUM NOVAE-ANGLIAE	NEW ENGLAND ASTER	0.50
THALICTRUM DASYCARPUM	PURPLE MEADOW RUE	2.00
	TOTAL	26.00

UPPER 1/3 DETENTION POND SLOPE HATCHED PATTERN DENOTES PRAIRIE SEED MIX (UPLAND ZONE)

LOWER 2/3 DETENTION POND SLOPE HATCHED PATTERN DETENTION POND SEED MIX (EDGE ZONE)

lawn area:
 SOD LAWN AREAS SHALL BE KENTUCKY BLUE GRASS BLEND GRASS IN A SOD NURSERY ON LOAM SOIL. SOD TO BE INSTALLED ON MINIMUM 4" TOPSOIL.
 SEEDED LAWN AREAS SHALL CONSIST OF THE FOLLOWING TYPES AND PROPORTIONS:
 5% PERENNIAL RYE GRASS
 10% RED FESCUE
 25% CHEWING FESCUE
 60% KENTUCKY BLUE GRASS
 SEED MIX SHALL BE APPLIED AT A RATE OF 200 POUNDS PER ACRE AND WEED CONTENT SHALL NOT EXCEED 1%. SEED. PROVIDE A MINIMUM 4" TOP SOIL ON ALL SEEDED LAWN AREA

basin construction notes

1. PROPER CONSTRUCTION TECHNIQUES, PARTICULARLY INSTALLATION OF VEGETATION, ARE IMPORTANT TO THE SUCCESSFUL FUNCTIONING OF OPEN DETENTION BASINS, ESPECIALLY FOR CONSTRUCTED WETLAND TYPE OPEN DETENTION BASINS IN ORDER TO ESTABLISH A DENSE AND DIVERSE EMERGENT WETLAND PLANT COMMUNITY. GENERAL GUIDELINES FOR VEGETATION INSTALLATION INCLUDE:
 2. SEED MUST BE PLANTED ABOVE THE PERMANENT WATER ELEVATION.
 3. ALL SEEDED AREAS TO BE PROPERLY STABILIZED WITH A MICH BLANKET FEGGED IN PLACE.
 4. DEPENDING ON THE TYPE OF VEGETATION, BARRIERS MAY BE REQUIRED FOR ONE YEAR TO PROTECT THE PLANTINGS (E.G., SNOW FENCE OR NETTING TO DETER WILDLIFE, PREVENT MOWING).
5. IF DETENTION BASIN ARE COMPACTED, THE SLOPES MUST BE ROTOTILLED, 4" (FOUR) OF COMPOST OR TOPSOIL MUST BE ADDED
6. "NO MOW ZONE" SIGNS MUST BE PLACED AROUND THE BASIN
7. DETENTION BASIN NATIVE SEEDING TO BE PERFORMED IN EARLY SPRING OR LATE FALL. AQUATIC PLANTS SHOULD BE INSTALLED IN THE SUMMER AFTER THE COVER CROP HAS ESTABLISHED

sod & seeding reference plan
 SCALE: 1" = 60'-0"

hatch pattern key

	AREAS TO RECEIVE IRRIGATION AND SOD. MAINTAINED AND MOWED WEEKLY		AREAS TO RECEIVE PRAIRIE SEED MIX. (NO MOWED AREA)
	AREAS TO RECEIVE LAWN SEEDING		AREAS TO RECEIVE DETENTION POND SEED MIX

WPX1 LED Wall Packs

Specifications

Introduction: The WPX1 LED wall packs are energy-efficient, cost-effective, and aesthetically appealing solutions for both wall pack replacement and new construction opportunities. Available in three sizes, the WPX1 family offers a 100% life cycle with a wide, uniform distribution. The WPX1 calculations fully cover the footprint of the LED glass wall packs that they replace, providing a true replacement and an upgraded appearance. Reliable (the construction and excellent ETL) luminaire maintenance ensure a long service life. The WPX1 family's unique battery covers make WPX1 ideal for any wall mounted lighting application.

Ordering Information

Label	Part Number	Height	Mounting	Notes
W1	WPX1-40K-12	12"	12"	12" Mounting
W2	WPX1-40K-18	18"	18"	18" Mounting
W3	WPX1-40K-24	24"	24"	24" Mounting

Features & Specifications

• ETL Listed
• 4000K CCT
• 100% Life Cycle
• 100lm/W
• 120-277V
• 120-277V
• 120-277V
• 120-277V

RSX1 LED Area Luminaire

Specifications

Introduction: The RSX1 LED Area luminaire delivers maximum value by providing significant energy savings, long life and superior performance performance at an affordable price. The RSX1 delivers 1200-12000 lumens, depending on the luminaire size. The RSX1 is designed for use in a variety of applications, including parking lots, walkways, and other outdoor areas. The RSX1 is designed for use in a variety of applications, including parking lots, walkways, and other outdoor areas. The RSX1 is designed for use in a variety of applications, including parking lots, walkways, and other outdoor areas.

Ordering Information

Label	Part Number	Height	Mounting	Notes
S1	RSX1-40K-25	25"	25"	25" Mounting
S2	RSX1-40K-30	30"	30"	30" Mounting

Features & Specifications

• ETL Listed
• 4000K CCT
• 100% Life Cycle
• 100lm/W
• 120-277V
• 120-277V
• 120-277V
• 120-277V

RSXF1 LED Floodlight

Specifications

Introduction: The RSXF1 LED Flood light delivers maximum value by providing significant energy savings, long life and superior performance performance at an affordable price. The RSXF1 delivers 1200-12000 lumens, depending on the luminaire size. The RSXF1 is designed for use in a variety of applications, including parking lots, walkways, and other outdoor areas. The RSXF1 is designed for use in a variety of applications, including parking lots, walkways, and other outdoor areas. The RSXF1 is designed for use in a variety of applications, including parking lots, walkways, and other outdoor areas.

Ordering Information

Label	Part Number	Height	Mounting	Notes
F1	RSXF1-40K-16	16"	16"	16" Mounting
F2	RSXF1-40K-20	20"	20"	20" Mounting
F3	RSXF1-40K-24	24"	24"	24" Mounting
F4	RSXF1-40K-28	28"	28"	28" Mounting
F5	RSXF1-40K-32	32"	32"	32" Mounting

Features & Specifications

• ETL Listed
• 4000K CCT
• 100% Life Cycle
• 100lm/W
• 120-277V
• 120-277V
• 120-277V
• 120-277V

General Note

- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
- SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0" & 5' - 0"

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

Alternates Note

THE USE OF FIXTURE ALTERNATES MAY BE RESUBMITTED TO THE CITY FOR APPROVAL.

Ordering Note

FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

Drawing Note

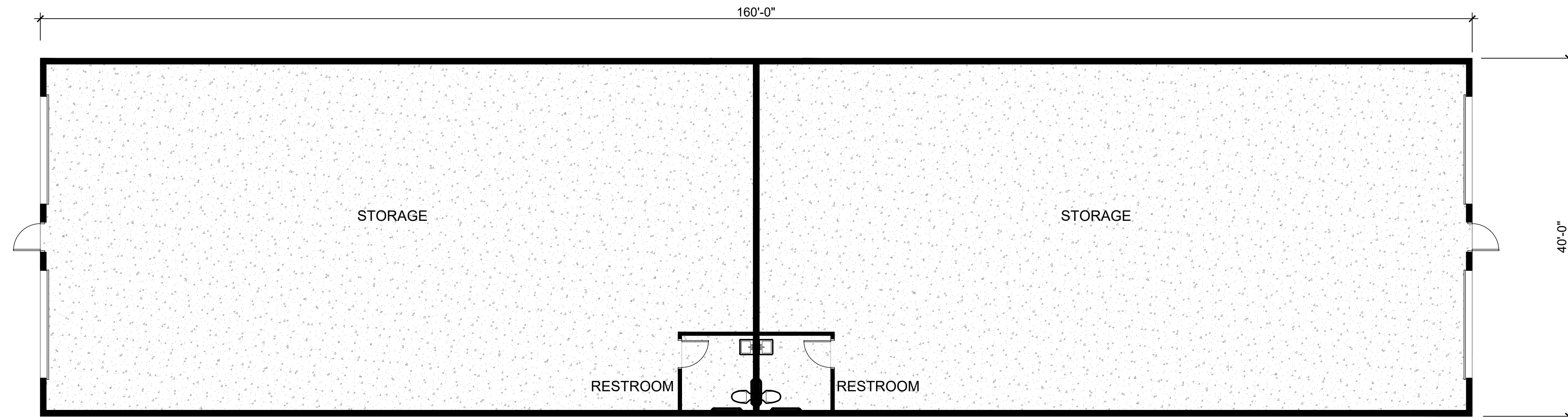
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Mounting Height Note

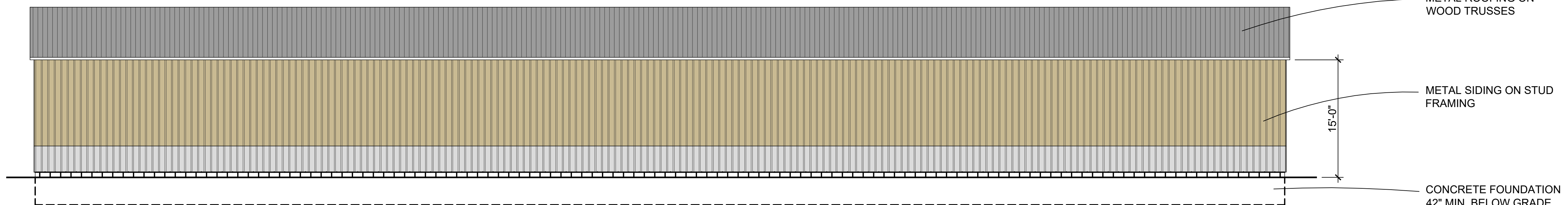
MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Symbol	Label	QTY	Manufacturer	Catalog	Description	LLF	Mounting Height
□	F	25	Lithonia Lighting	RSXF1 LED 40K	RSXF Flood Fixture Size 1 4000K CCT	0.9	16'
□	S1	4	Lithonia Lighting	RSX1 LED 40K	RSX LED Area Luminaire Size 1 4000K CCT	0.9	25'
□	S2	2	Lithonia Lighting	RSX1 LED 40K	RSX LED Area Luminaire Size 1 4000K CCT	0.9	25'
□	W	153	Lithonia Lighting	WPX1 LED 40K Mvolt	WPX1 LED wallpack 4000K color temperature 120-277 Volts	0.9	12'

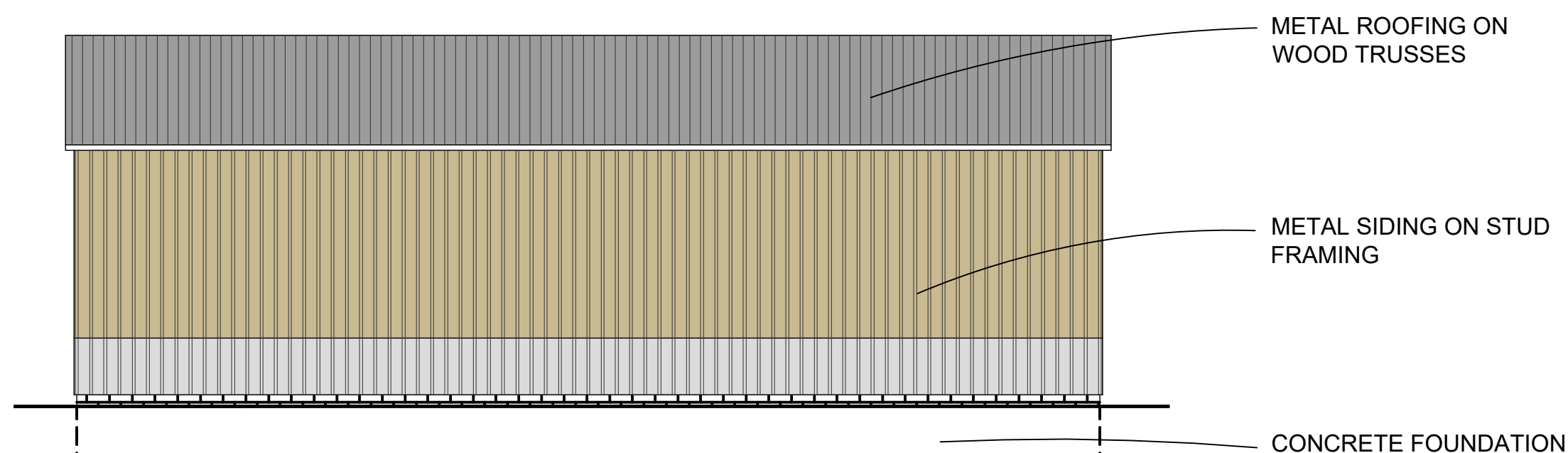
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Overall	+	0.5 fc	7.8 fc	0.0 fc	N/A	N/A
Property Line	+	0.0 fc	0.6 fc	0.0 fc	N/A	N/A
Main Drive Lane	*	1.0 fc	7.8 fc	0.1 fc	78.0:1	10.0:1



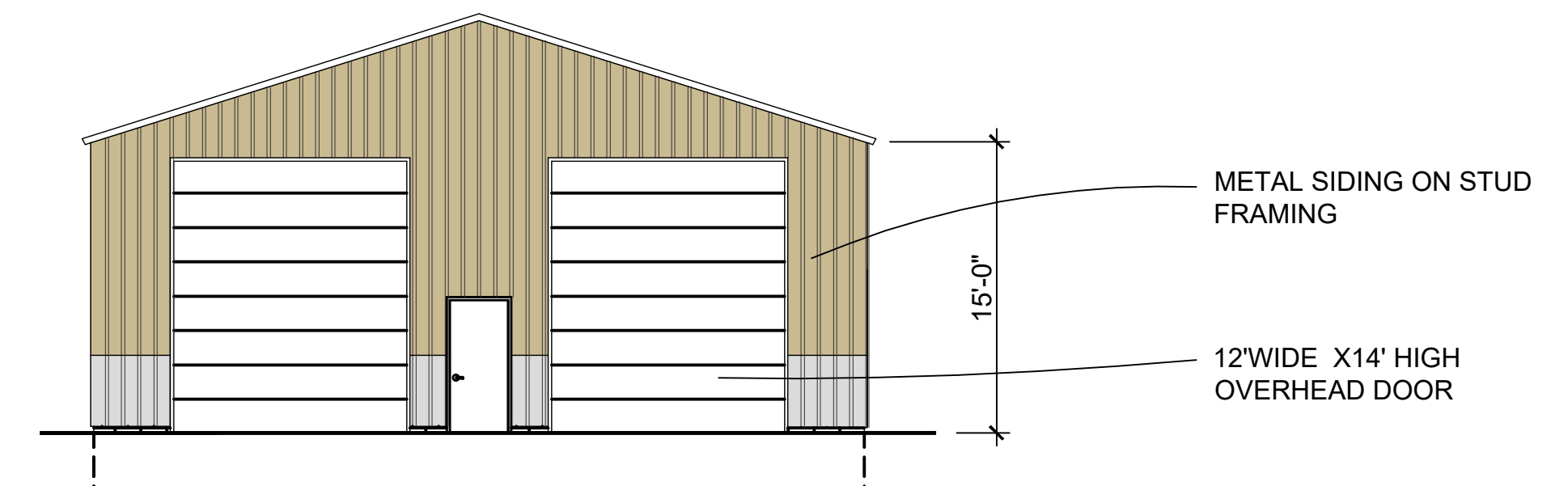
Floor Plan-40' X 160' Building
Scale: 1/8"=1'-0"



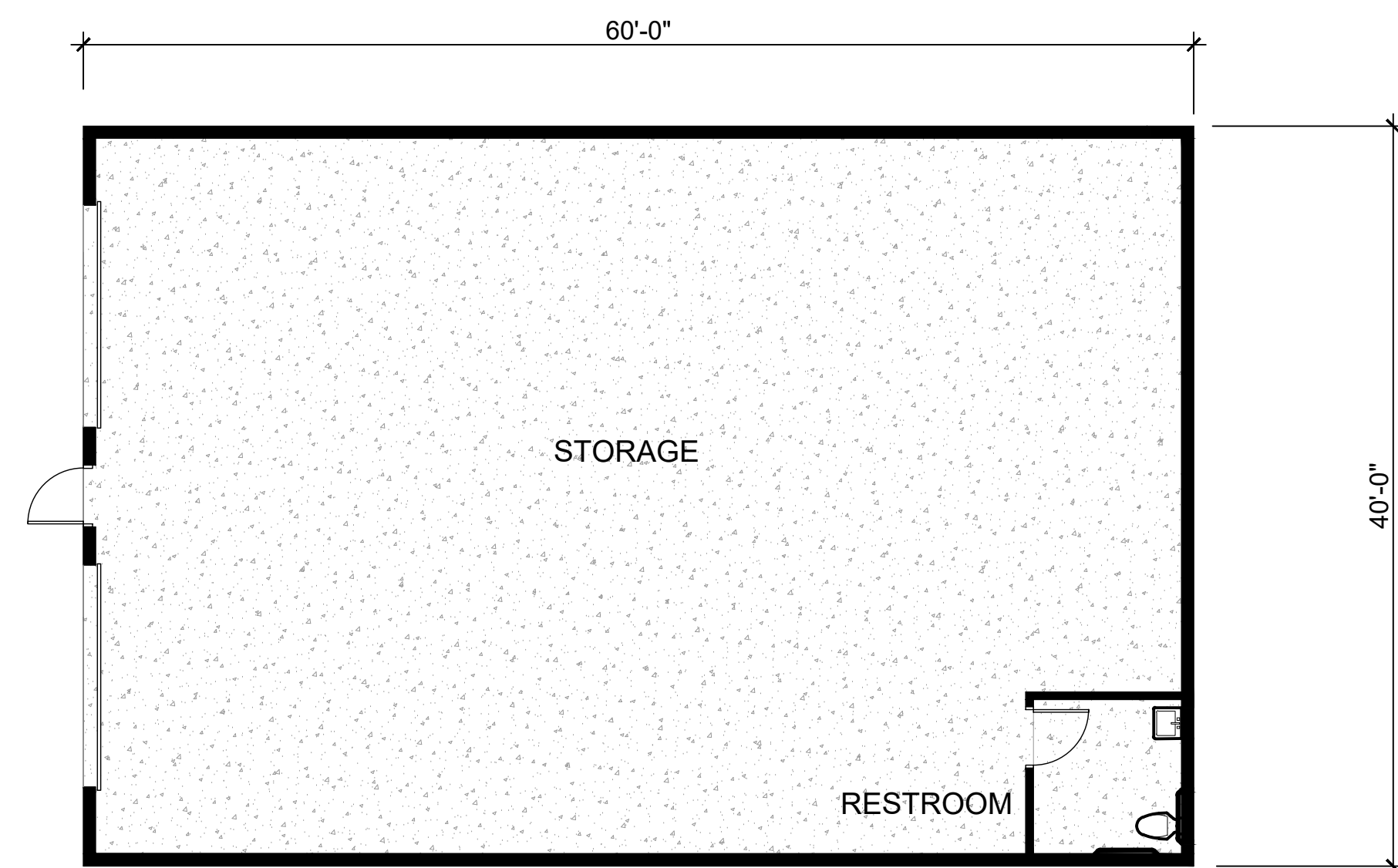
Side Elevation-40' X 160' Building
Scale: 1/8"=1'-0"



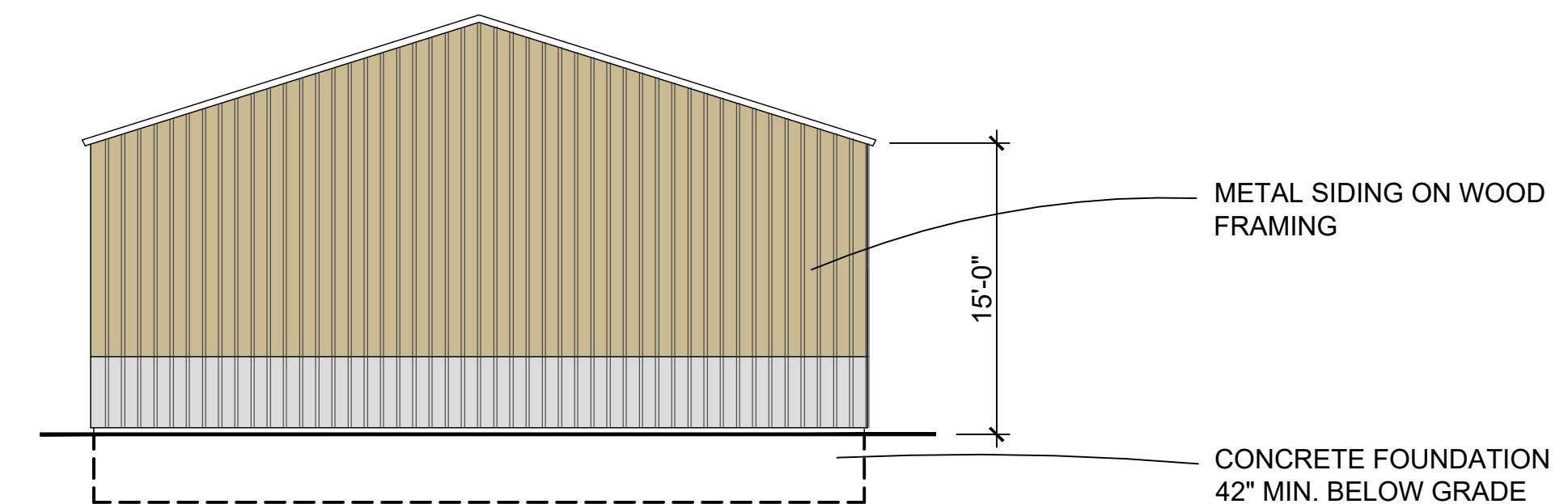
Side Elevation-40' X 60' Building
Scale: 1/8"=1'-0"



Front Elevation
Scale: 1/8"=1'-0"



Floor Plan-40' X 60' Building
Scale: 1/8"=1'-0"



Rear Elevation
Scale: 1/8"=1'-0"

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 POC: STEVE GRONOW
 517-552-2489

TYPICAL FLOOR PLAN & ELEVATIONS
 CHESTNUT SELF STORAGE
 TAX ID# 06-29-200-029
 PART OF THE NE 1/4 OF SEC. 29, T3N-R4E,
 HOWELL TOWNSHIP, LIVINGSTON CO., MICHIGAN

DATE	DESCRIPTION
5/28/2024	PRELIMINARY/FINAL SITE PLAN SUBMITTAL
5/30/2024	REVISED SITE PLAN SUBMISSION

ORIGINAL ISSUE DATE:
02/29/2024

PROJECT NO: 22-286

SCALE: 1/8"=1'-0"
 0 1/2" 1"

FIELD:
 DRAWN BY: CD
 DESIGN BY: BS
 CHECK BY: AP

A-10

NOT FOR CONSTRUCTION